



ROOK HOME INSPECTIONS LLC

2548563371

rookinspections@gmail.com

<https://www.rookinspections.com>



ROOK HOME INSPECTION- RESIDENTIAL REPORT

1234 Main Street
Waco TX 76712

Buyer Name

01/26/2024 9:00AM



Inspector

Jose Caraballo

TREC #25913

(254) 856-3371

rookinspections@gmail.com



Agent

Agent Name

555-555-5555

agent@spectora.com



PROPERTY INSPECTION REPORT FORM

Buyer Name <i>Name of Client</i>	01/26/2024 9:00AM <i>Date of Inspection</i>
1234 Waco TX 76712 <i>Address of Inspected Property</i>	
Jose Caraballo <i>Name of Inspector</i>	TREC #25913 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Standards of Practice: TREC (Texas Real Estate Commission) -

Rook Home Inspections follows the Texas Real Estate Committee (TREC) Standards of Practice (SOP). The TREC SOP can be located at <https://www.trec.texas.gov/agency-information/rules-and-laws/trec-rules>.

Inspection Key:

Items or systems not specifically noted in this report are considered acceptable or functioning at the time of inspection as per the Texas Real Estate Commission (TREC) Standards of Practice (SOP). The following is to assist the client in understanding the evaluation keys used by the inspector.



Maintenance & Information - Components that require routine maintenance or service as part of homeownership. This section may also include observations that do not necessarily require service but were worth noting in the report. Items related to energy efficiency and improved home performance are also listed under this section.



Attention Recommended - Service, maintenance, repair, or replacement is recommended. Recommendations for added safety and further inspection by qualified professionals are also included in this section.



Critical/Important - Unsafe or non-functional components that should be serviced as soon as possible.

In Attendance: Buyer, Buyer Agent

Direction of Home: East



Northeast



Southeast



South



Southwest West



Northwest West



Northwest



North

Weather Conditions: Clear -

Exterior Temperature:

Property Information: Single Family (1 Story) -



Southeast- Bedroom 1



East- Bathroom 1 (Attached to Bedroom 1)



South- Bathroom 2



Southwest- Bedroom 2



West- Extra Room/ Bedroom 3

Year Built: 1954

Square Footage: 1511

Start Date: 11/20/2023

Start Time::

3:30 pm

Completion Date: 11/20/2023

Completion Time::

7:00 pm

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Comments:

A home inspection of the foundation is a crucial aspect of the home inspection process as it ensures that the foundation is structurally sound and free of any defects that may compromise the home's structural integrity. The foundation inspection typically includes an evaluation of the foundation's form and construction, including the visible components such as the walls, slabs, and footings.

During the inspection, the inspector will look for any cracks, signs of settlement, bulges, or other defects that may indicate foundation problems. The inspector will document the type and severity of any issues, along with recommendations for potential repairs.

The inspection may also include an assessment of the drainage conditions around the foundation to verify that the ground is sloping away from the foundation and that downspouts and gutters are expelling water away from the property. Foundation moisture caused by accumulated water can lead to long-term damage, such as mold and rot.

In some cases, the inspection of the foundation may additionally require excavation to allow for a closer inspection of the foundation's hidden components, such as foundation footing.

Overall, a thorough foundation inspection is critical in identifying potential structural issues, allowing you to make informed decisions about the property and avoid costly foundation repairs later on.

Performance of Foundation: Performing as Intended

Type of Foundation(s): Pier and Beam



Crawlspace



Crawlspace

1: Crawlspace Access Inadequate

➔ Recommendation

Access to the crawlspace is inadequate or unsafe. The minimum dimensions for access opening should be 18x24 inches (floor) or 16x24 inches (wall). This limits the inspector's ability to enter and view the components within the area of the crawlspace. Inspector's findings are based on limited access, visibility, and best judgment.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



West- Crawlspace Opening



West- Crawlspace Opening

2: Crawlspace Vapor Retarder (Barrier) Missing

🔴Recommendation

The vapor retarder is missing in the crawlspace. A vapor retarder, or waterproof sheeting, is typically installed in crawl spaces or attics and plays a crucial role in preventing moisture-related issues and ensuring the long-term structural integrity and energy efficiency of a home. The absence of a vapor retarder can lead to several potential problems, including increased humidity levels, condensation, and the risk of mold growth. Moisture intrusion can compromise the insulation's effectiveness, damage building materials, and contribute to indoor air quality issues. I recommend a qualified contractor evaluate and install vapor retarder as needed.

Recommendation: Contact a foundation contractor.



Crawlspace

3: Spalling

🔴Recommendation

The foundation is spalling at one or more areas. Spalling is the breakdown of concrete from natural weathering and/ or chemical reaction that results in sections of cement chipping off the main body; often

I=Inspected

NI=Not Inspected

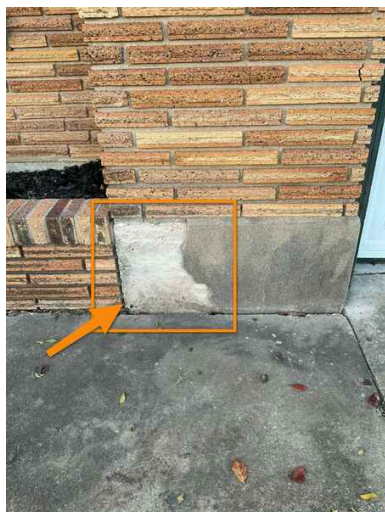
NP=Not Present

D=Deficient

I NI NP D

resulting in fractured, compromised concrete. This is considered a cosmetic issue. If you desire to correct the issue, I recommend a concrete specialist evaluate and repair it if needed.

Recommendation: Contact a qualified general contractor.



East- Garage



West- Stairs



West

B. Grading and Drainage

Comments:

Home inspection of grading and drainage is crucial to ensure that the property exterior is free of any moisture accumulation that may potentially lead to foundation damage or other structural issues. The inspection will evaluate the grading and drainage of the property to verify that water flows away from the foundation.

During the inspection, the inspector will examine the slope, landscaping, and hardscaping surrounding the property. The inspector will check for any low spots or depressions that may hold water, as well as any standing water in the yard, or around the foundation.

In addition, the inspection will examine the gutters, and downspouts and evaluate their function, and effectiveness. The inspector will check that the gutters and downspouts are free from visible blockages so that rainwater can effectively leave the roof. The inspection will also examine the discharge point of the downspouts to ensure that it directs water away from the foundation and onto a designated area that drains adequately into the surrounding ground.

Overall, a thorough inspection of grading and drainage ensures that the property is free of moisture accumulation that may lead to long-term damage and structural issues. The inspector will provide recommendations and solutions for any issues identified and offer insight into how to adequately maintain the grading and drainage system on the property.

Type of Drainage: None

1: Grading- Negative

🔴 Recommendation

West

The grading does not appear to promote stormwater flow away from the house in one or more locations. The grading (ground) should slope away from the house at a rate of 6 inches for at least the first 10 feet or to a swale. Proper grading and drainage help prevent water from standing and/or ponding next to the foundation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Corrective measures may be needed if the water stands within 10 feet of the foundation perimeter for more than 24 hours.

Recommendation: Contact a qualified professional.



West



West

2: Gutters Missing

🔴Recommendation

Roof

The property is missing gutters in various locations. The Installation of a gutter and downspout system around the property will help direct the flow of unwanted storm water away from the structure. NOTE: The gutter downspouts should discharge water at least five feet away from the foundation perimeter beam. Storm water should be directed to flow away from the structure at the points of discharge. I recommend a qualified contractor install gutters to help prevent future water damage.

Recommendation: Contact a qualified professional.

3: Soil Erosion

🔴Recommendation

Southeast

There is evidence of soil erosion at various locations around the property. In this case, the lack of gutters and downspouts appears to be eroding the soil beneath the roof and creating a trough around the property. I recommend a qualified contractor evaluate and install gutters and downspouts. Backfill may be needed to replace the eroded soil.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Southeast

C. Roof Covering Materials

Comments:

A home inspection of the roof covering material is critical to ensure that the roof is structurally sound and functional in protecting the property from weather elements. The inspection of the roof covering material involves a careful examination of the roof to detect any defects, damages, and signs of wear and tear that may result in moisture penetrating the property or other significant issues.

The inspector will start by examining the roofing materials to determine if they are durable, installed properly, and have a useful life remaining. The inspector will determine whether the roofing system is compatible with the property's design and recommend any necessary repairs or replacements needed.

The inspection will also include an assessment of the roof's flashings, which are the components that keep the water out of roof joints where the roof meets other walls or roof projections, such as chimneys, skylights, or vent pipes. An evaluation of the conditions, and sealing points of all penetrations into the roof including plumbing stacks, chimneys, and skylights, will be included in the inspection.

Overall, a thorough inspection of the roof covering material is essential to ensure that the roof is in good condition and that any potential issues can be identified and addressed promptly. The inspector will provide recommendations for any necessary repairs or replacements and help the homeowner maintain the roof effectively to ensure its longevity and safeguard the home's structural elements.

Viewed From: Ladder, Roof

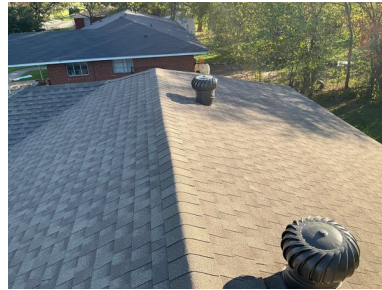
I=Inspected

NI=Not Inspected

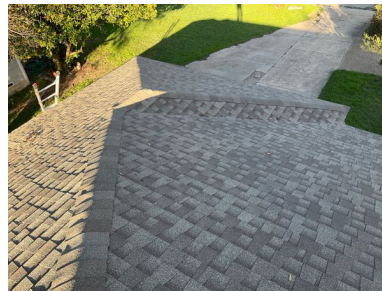
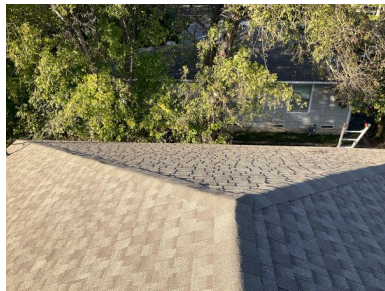
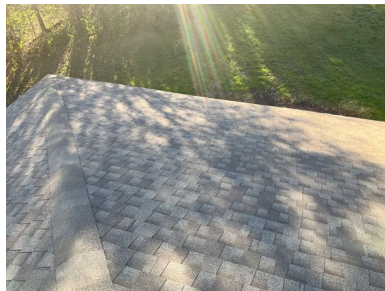
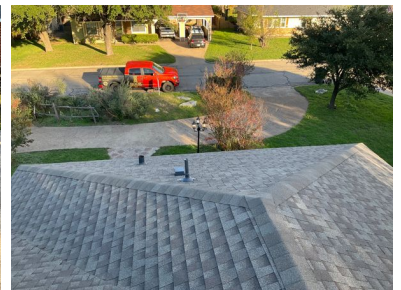
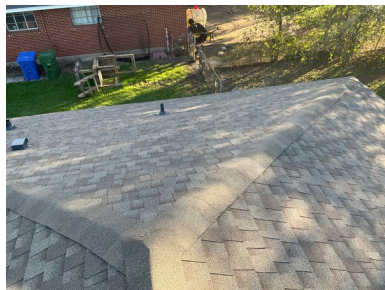
NP=Not Present

D=Deficient

I NI NP D



North



Types of Roof Covering: Asphalt
Roof Slope: 4/12

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Roof

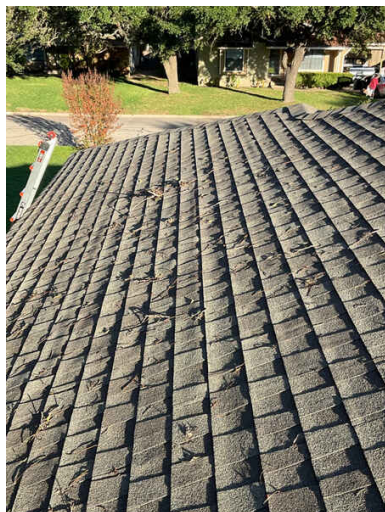
Evidence of Previous Repair: No

1: Roof Covering- Debris

[Maintenance Item](#)

The roof surface has standing debris in some areas. This can lead to damaged shingles and moisture intrusion if not corrected. I recommend clearing the debris to allow for water to be shed from the roof as intended.

Recommendation: Contact a qualified professional.



North Roof

D. Roof Structures and Attics

Comments:

A home inspection of roof structures and attics is a crucial part of the home inspection process to identify any defects, damages, or potential hazards that may affect the property's structural integrity.

The roof structure inspection will involve evaluating the structural integrity of the roof and identifying any visible damage to the roof, its structure, and the roof framing members. The inspector will look for sagging areas, and broken, rotted, or damaged members, and identify the causes of any defects.

The attic inspection will involve checking the ventilation and insulation within the attic. Insufficient insulation will lead to high energy costs, while inadequate ventilation can cause moisture buildup, leading to mold growth, affecting the health of the homeowners, and causing structural damage.

The inspector will also examine the chimney, skylights, and other roof penetrations for possible leaks and damages. Any previous repairs to the roof system and their quality will be examined to ensure that they were performed effectively.

Overall, a thorough inspection of the roof structures and attics is important to ensure that any potential issues

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

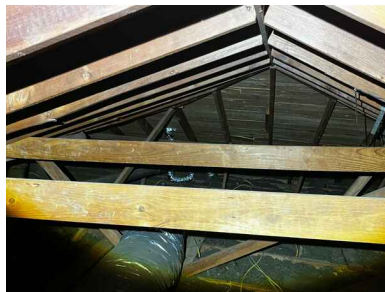
that may impact the structural integrity of the roof are identified. The inspector will provide recommendations for necessary repairs, insulation improvements, ventilation improvements, and other related areas to extend the life of the roof and ensure the safety of inhabitants.

Attic Access: Scuttle hole



Garage

Roof Structure: 2x6 Rafters



Attic

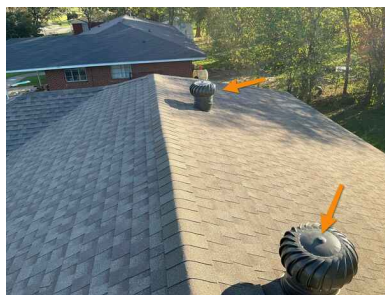
Attic Insulation: Rock wool



Attic

Average Depth of Insulation: 6-12inches

Roof Ventilation: Turbines



Roof

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Viewed From: Attic

1: Rodents/ Critters

🔴Recommendation

Attic

There is evidence such as droppings, gnaw marks, or nests may suggest the activity of rodents in this area. Rodents, such as mice and rats, can cause a range of problems in an attic. They may damage insulation, electrical wiring, and structural components while also posing health risks due to the spread of contaminants through their droppings and urine. I recommend a qualified pest control contractor evaluate and resolve the issue as needed.

Recommendation: Contact a qualified pest control specialist.



Attic

2: Evidence of Water Intrusion

🔴Recommendation

Attic

There is evidence of water intrusion on the rafters in the attic space. Water stains are visible in several areas. These may have been from a previous problem that is now resolved or an ongoing issue. I recommend a licensed roofer evaluate and repair as needed.

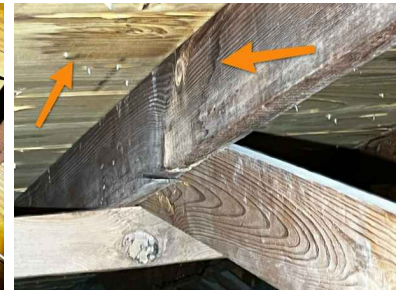
Recommendation: Contact a qualified roofing professional.



Attic



Attic



Attic

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Attic



Attic



Attic



Attic

3: Fire Separation Inadequate/ Damaged

▲Safety Hazard

The fire separation in the attic was observed to be inadequate or damaged. Adequate fire separation is crucial in protecting the home and its occupants by containing the spread of fire and providing valuable time for evacuation. The absence of proper fire separation in the attic poses a potential risk, as fire could rapidly progress through concealed spaces and compromise the structural integrity of the building. I recommend a qualified professional evaluate and repair as needed.

Recommendation: Contact a qualified professional.

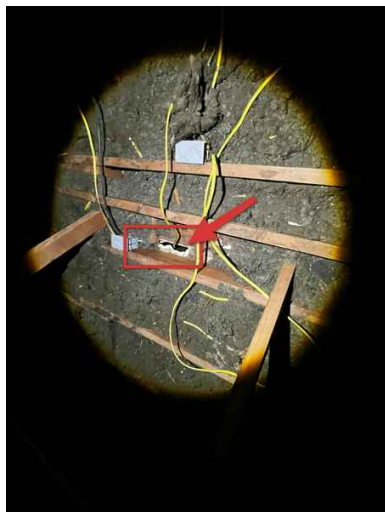
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Attic

4: Roof Decking Damaged

Recommendation

The roof decking was observed to be damaged in one or more areas at the time of the inspection. The roof decking, a critical component of the roofing system, provides structural support and a base for roofing materials. Visible indicators of roof decking damage may include sagging, bowing, holes or missing parts, or areas of deterioration such as rot, water stains, or mold growth. Such damage can result from various factors, including water leaks, prolonged exposure to the elements, or inadequate ventilation. I recommend a licensed roofing contractor evaluate and repair as needed.

Recommendation: Contact a qualified roofing professional.



Attic

E. Walls (Interior and Exterior)

Comments:

A home inspection of interior and exterior walls is a fundamental component of the home inspection process. The inspection is to identify any issues related to the structure and possible water damage on the building

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

envelope.

During the inspection, the interior and exterior walls will be reviewed and examined for issues such as cracks, warping, peeling paint, or any moisture intrusion. The inspector will look for any signs of water damage that indicate a possible issue with a failing roof or faulty guttering.

In addition, the inspector will evaluate the insulation of the walls to ensure it meets local building codes and standards, ensuring that the property is adequately insulated.

The inspection may also include thermal imaging to assess the walls' performance and reveal any signs of air leakage or damage not seen by the naked eye. Thermal imaging can help identify any discrepancies in the temperature of the walls where water damage is present.

Overall, a thorough inspection of interior and exterior walls during a home inspection ensures that any issues that may threaten the structural integrity of the building are discovered before they develop into significant damages. The inspector will provide recommendations for necessary repairs and maintenance tips to help prevent future damages.

Exterior Wall Structure: Brick

1: Caulking on Exterior Wall Penetration Missing

🔴Recommendation

Various Locations

Caulk is deteriorated and/ or missing from exterior wall penetrations such as pipes, vents, or lights. This allows for water intrusion and access to wildlife. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.



North



West



Southeast

2: Insect Infestation

🔴Recommendation

Various Locations

During the inspection, it was observed that there are insect nests present on the exterior of the house. Insect nests can pose both structural and aesthetic concerns, as well as potential health hazards. I recommend a licensed exterminator evaluate and remediate the concern.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified pest control specialist.



3: Interior Wall- Combustable Material

🔴Recommendation

Extra Room/ Bedroom 3

One or more internal walls of the property were observed to be a combustible wall covering that separates the habitable space. This condition does not meet current building standards and poses a fire/ safety hazard. I recommend a qualified contractor with fire separation knowledge to evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Extra Room/ Bedroom 3

Extra Room/ Bedroom 3

Extra Room/ Bedroom 3

4: Lintel Not Painted/ Needs Painting

🔴Recommendation

Garage

One or more lintels are exposed and/ or damaged in various locations. A lintel is a structural element that spans the top of an opening in a building, providing support to the masonry or load above the opening. It acts as a horizontal beam, distributing the weight from above to the vertical supports (such as columns or walls) on either side of the opening. They are typically made of durable materials, such as steel, concrete, stone, or wood, depending on the structural requirements and the design of the building. Steel lintels shall be shop coated with a rust-inhibitive paint, except for lintels made of corrosion-resistant steel or steel treated with coatings to provide corrosion resistance. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

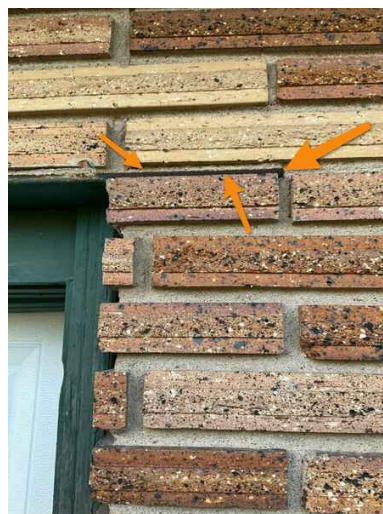
NP=Not Present

D=Deficient

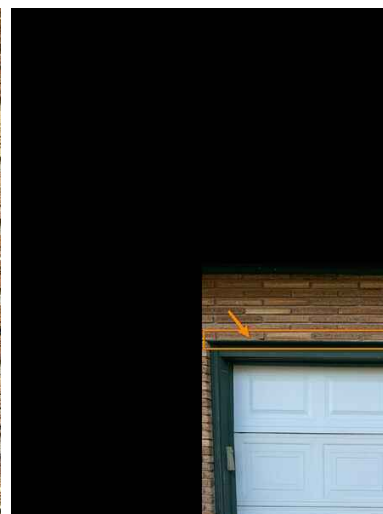
I NI NP D



Lintel



Lintel



Lintel

5: Evidence of Mildew/ Moisture

🔴Recommendation

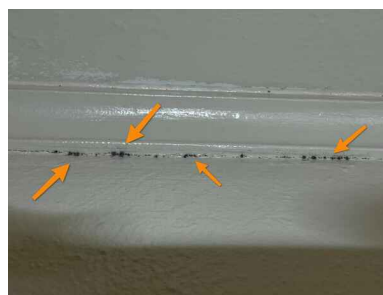
Kitchen

During the inspection, there were indications of possible mildew or moisture in one or more areas. The presence of mildew or moisture can result from various factors, including inadequate ventilation, water leaks, or high humidity levels. Neglecting to address possible mildew or moisture promptly may lead to further damage, compromised indoor air quality, and potential health risks. I recommend a qualified mold remediation contractor evaluate and provide possible solutions.

Recommendation: Contact a qualified mold remediation contractor



Kitchen



Kitchen

6: Interior Wall- Cracked/ Damaged

🔴Recommendation

During the inspection, one or more interior walls were observed to be cracked/ damaged. Wall cracks can result from a variety of factors, including settling, structural movement, or changes in humidity levels. Cracks less than 1/4 inches could be caused by settlement. Cracks greater than 1/4 inches may present a more severe concern. I recommend monitoring the cracks.

*If the cracks expand in length and/or width, contact a licensed structural professional for consultation.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage



Garage

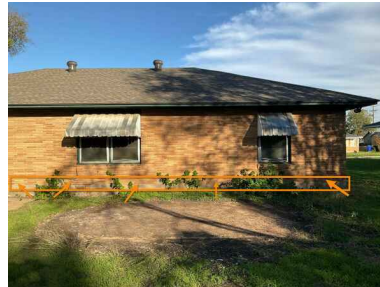
7: Weep Hole Missing

👉Recommendation

Various Locations

During the inspection, it was noted that there were missing weep holes in one or more areas. Weep holes play a crucial role in facilitating proper drainage, allowing water to exit from behind building components and preventing moisture buildup. Neglecting to address missing weep holes may lead to issues such as trapped moisture, potential water damage, and the risk of mold or mildew growth. I recommend a qualified siding contractor evaluate and repair as needed.

Recommendation: Contact a qualified siding specialist.



8: Trim Damaged- Exterior

👉Recommendation

During the inspection, it was noted that there was damage to the exterior trim in one or more areas. Exterior trim damage can result from exposure to the elements, pests, or general wear and tear. Neglecting to address exterior trim damage may lead to further deterioration, potential issues with water infiltration, and diminished curb appeal.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage

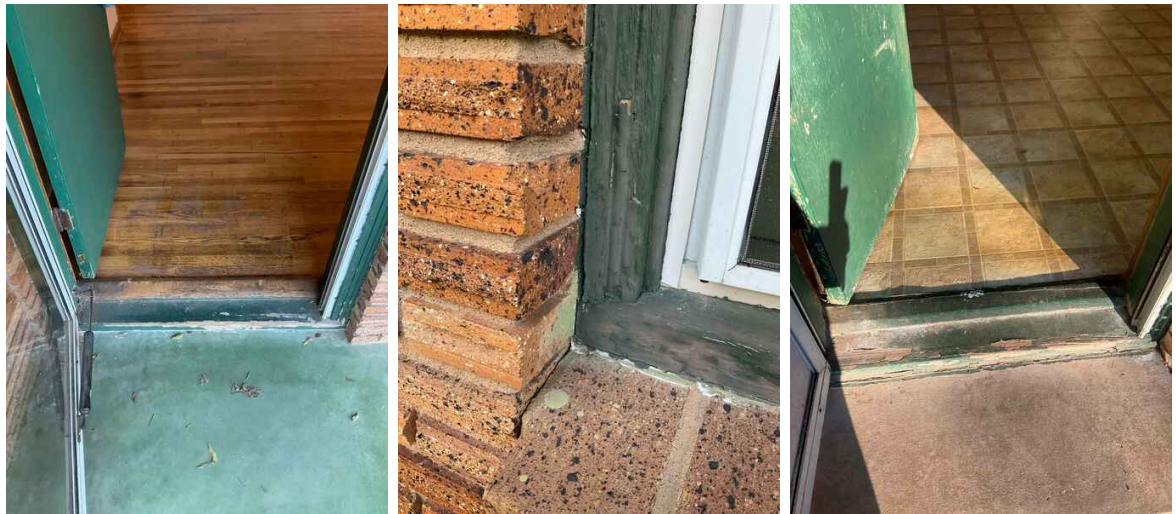
9: Paint Failing/ Missing- Exterior

Recommendation

Various Locations

During the inspection, it was noted that there are areas where the paint is failing or missing. The integrity of exterior paint is crucial for protecting surfaces from weathering, moisture, and UV damage. Neglecting to address failing or missing paint may result in further deterioration of surfaces, potential structural damage, and diminished aesthetic appeal. I recommend repainting exterior surfaces as soon as possible.

Recommendation: Contact a handyman or DIY project



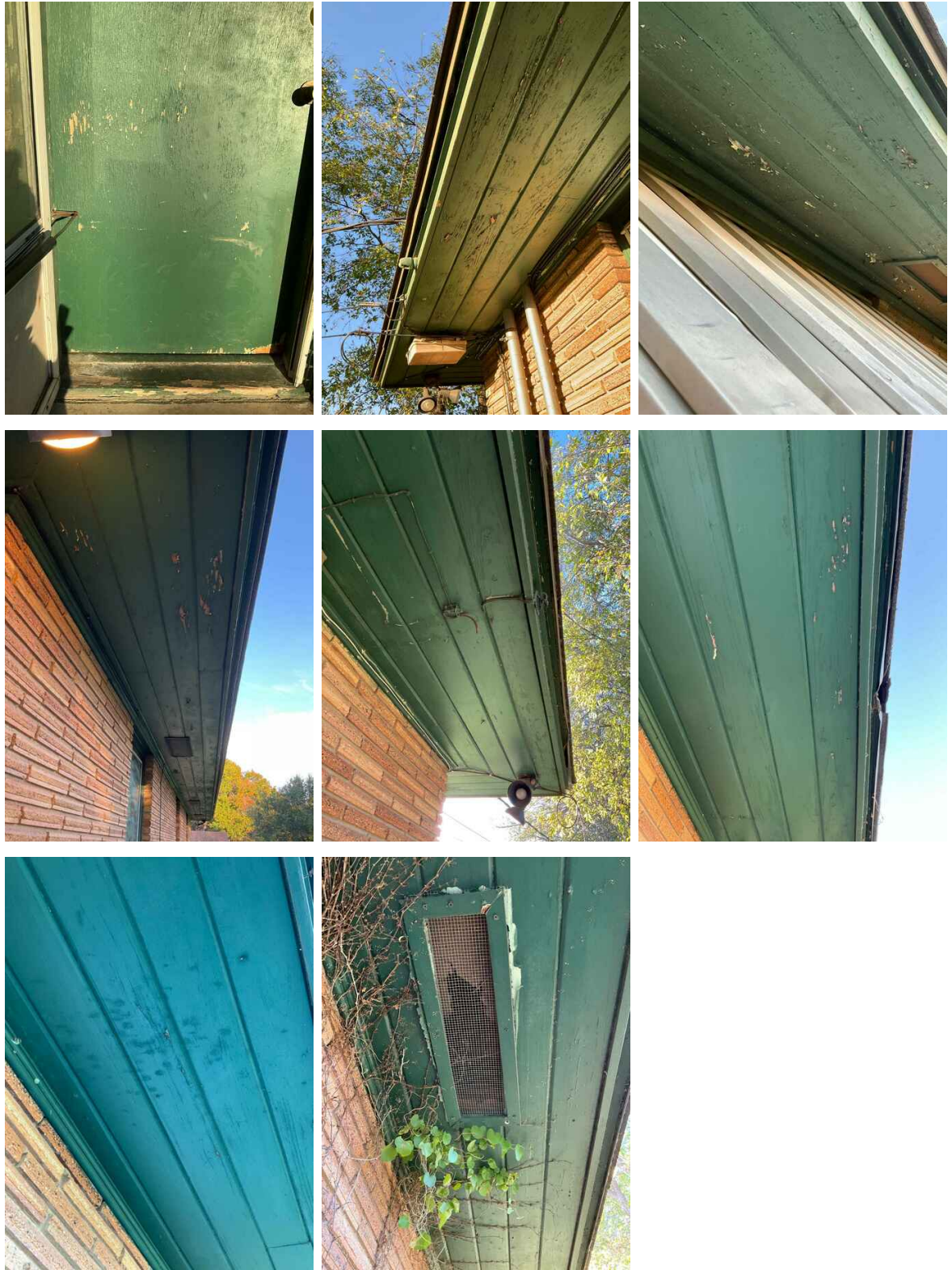
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



10: Fascia Board Missing/ Damaged

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

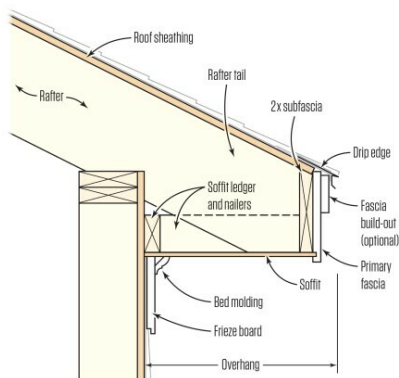
I NI NP D

Recommendation

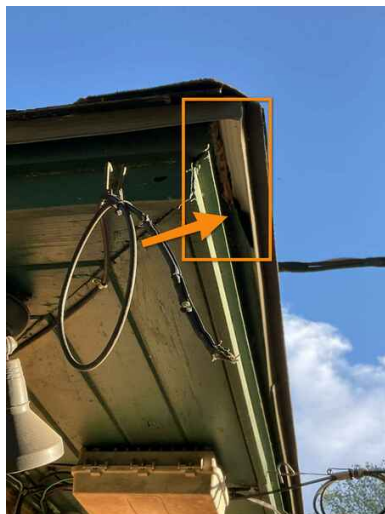
Northwest

During the inspection, it was observed that the fascia board was missing or damaged in one or more areas. The fascia board is a critical component for protecting the roof structure and enhancing the aesthetic appeal of the property. Neglecting to address missing or damaged fascia boards may lead to issues such as water infiltration, structural damage, and compromised roof integrity. I recommend a qualified contractor evaluate and repair as so soon as possible.

Eaves Terminology



Recommendation: Contact a qualified professional.



Fascia Board

11: Cracks in Brick/ Mortar

Recommendation

Various Locations

During the inspection, cracks in the brick and mortar were identified in one or more areas. The presence of cracks in the brickwork and mortar joints can result from various factors, including settling, temperature fluctuations, or structural movement. Neglecting to address cracks in brick and mortar may lead to further deterioration, water penetration, and potential issues with structural stability. Cracks greater than 1/4 inch wide can indicate structural concerns. I recommend monitoring the cracks.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

* If the cracks increase in size and width, contact a licensed structural professional for consultation.

Recommendation: Contact a qualified siding specialist.



12: Interior Wall- Previous Repair

 Maintenance Item

Various Locations

During the inspection, it was noted that certain interior walls had undergone previous repairs. The presence of repairs can indicate a proactive approach to addressing issues such as settling, cracks, or other underlying concerns. It is advisable to review any available documentation related to the repairs, such as invoices or reports, to gain insight into the nature of the repairs conducted. I recommend monitoring the repairs.

* If concerns arise, contact a qualified contractor for consultation.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



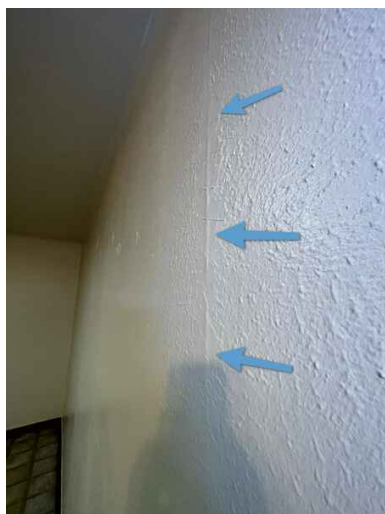
Bedroom



Kitchen



Kitchen



Kitchen



Hallway

13: Interior Wall- Damaged

🔴 Recommendation

Garage

During the inspection, it was noted that one or more interior walls exhibited signs of damage. The nature of the damage may include holes, scrapes, scratches, and/or cracks. Neglecting to address damaged interior walls may lead to further deterioration, compromised structural integrity, and diminished overall visual appeal. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage



Garage

14: Vegetation in Contact with Property

[Maintenance Item](#)

Southwest

During the inspection, it was noted that vegetation was in direct contact with the house in one or more areas. The presence of vegetation in close proximity to the house can lead to various concerns, including moisture issues, pest access, and potential damage to the structure. I recommend trimming or removing the vegetation as soon as possible.

* If pest or insect concerns arise, consult with a licensed pest control professional.

Recommendation: Contact a handyman or DIY project



Vegetation

F. Ceilings and Floors

Comments:

A home inspection of ceilings and floors is a vital part of the home inspection process to identify any defects, damages, and potential hazards that may affect the property's structural integrity.

The inspection of ceilings involves evaluating the ceiling structure and checking for defects, damages, or potential weaknesses. The inspector will look for any cracks, signs of water damage, or other deficiencies that may indicate ceiling problems.

Additionally, the inspection will involve an assessment of the ceiling finish, such as paint, plaster, or wallpaper. In addition, the inspector will verify the quality of the ceiling insulation to ensure energy

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
----------	-----------	-----------	----------

efficiency.

The inspection of the floors evaluates the floor structure, such as floor joists, subflooring, and floor coverings. The inspector will check for any sagging floor areas or deficiencies that may indicate issues with the floor framing members.

Furthermore, the inspection will involve evaluating the floors for moisture damage or decay caused by water intrusion. The inspector will examine any visible signs of rot or decay and look for signs of mold growth.

Overall, a thorough inspection of ceilings and floors is necessary to identify any potential hazards and defective areas that can result in significant damages ahead. The inspector will provide recommendations and necessary repair works to help prevent future damages and safeguard the home's structural integrity.

Ceiling Structure: 2X6

Method Used to View Crawlspace: Crawled

Floor Structure: Wood joists

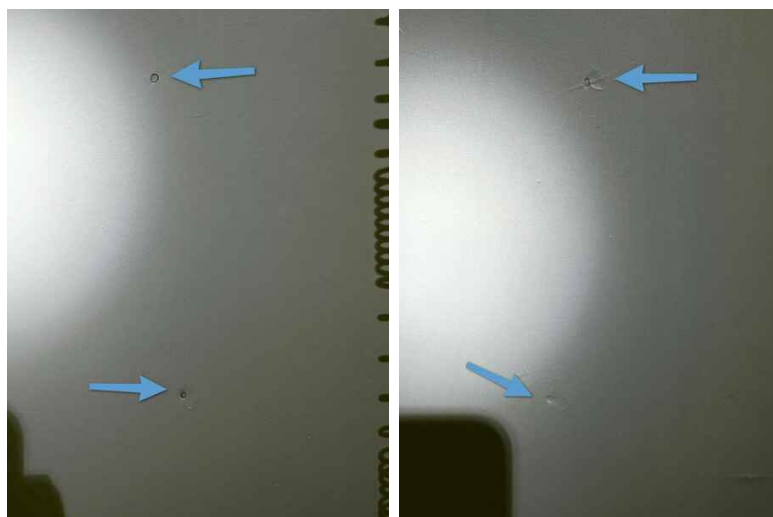
Floor Insulation: None

1: Ceiling Nail Pop

 Maintenance Item

The drywall on the ceiling has "Nail pops" in areas caused by settlement. This is considered cosmetic. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

Recommendation: Contact a qualified professional.



Garage Ceiling

Garage Ceiling

2: Firewall Separation

 Safety Hazard

Garage

The firewall separation (gypsum board) between the habitual space and the second floor was observed to be missing in one or more locations. The firewall is intended to slow the spread of fire from the habitual space to the attic. The ceiling must be separated by a minimum of 1/2" drywall (gypsum board). I recommend a qualified professional contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Ceiling Fire Separation



Ceiling Fire Separation

3: Garage Floor- Settlement Cracks

🔴 Recommendation

Garage

The concrete floor of the garage is cracked in areas. These cracks appear typical and do not seem significant. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

Recommendation: Contact a qualified professional.



Garage Floor



Garage Floor



Garage Floor

4: Insulation Missing- Pier and Beam House

🔵 Maintenance Item

Crawlspace

During the inspection, it was noted that there is missing insulation in the flooring of the pier and beam house. Adequate insulation is crucial for maintaining energy efficiency, temperature regulation, and preventing issues such as drafts and moisture infiltration. I recommend a qualified contractor be consulted for further evaluation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified professional.



Flooring

5: Water Stains- Flooring

👉Recommendation

Various Locations

During the inspection, water stains were noted on the floor in one or more areas. Water stains not only detract from the aesthetic appeal of the flooring but may also indicate underlying issues such as leaks, plumbing problems, or improper drainage. Neglecting to address water stains promptly may lead to ongoing issues such as mold growth, deterioration of flooring materials, and potential structural damage. I recommend a qualified floor professional evaluate and repair as needed

Recommendation: Contact a qualified flooring contractor



Bedroom 2

6: Flooring- Water Damage

👉Recommendation

Crawlspace

During the inspection, it was observed that there was water damage to the floor in one or more areas. Water damage to flooring can have serious consequences, including compromised structural integrity, mold growth, and potential hazards. Neglecting to address water damage promptly may lead to more extensive and costly repairs, as well as potential health risks associated with mold growth. I recommend a qualified floor professional evaluate and repair as needed.

Recommendation: Contact a qualified flooring contractor

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Floor



Floor



Floor



Floor



Floor



Floor



Floor

7: Ceiling- Possible Previous Water Damage

Recommendation

During the inspection, evidence of possible previous water damage to the ceiling in one or more areas was observed. There was a bulge in the painted ceiling in the kitchen. Water damage to ceilings can result from

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

various sources such as roof leaks, plumbing issues, or condensation problems. Thermal imaging showed no evidence of a current concern. I recommend a qualified professional evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Kitchen

8: Floor Surface Damaged

🔴 Recommendation

Various Locations

During the inspection, it was observed that the surface of the floor in one or more areas was damaged. Floor damage can detract from the aesthetic appeal of the space and may indicate issues such as wear and tear, impact damage, or underlying structural concerns. I recommend a qualified floor professional evaluate and repair as needed.

Recommendation: Contact a qualified flooring contractor



Floor



Floor



Floor

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Floor

G. Doors (Interior and Exterior)

Comments:

A home inspection of doors, both interior and exterior, is an essential component of the inspection process as it ensures that the doors are functioning efficiently and safely.

The inspection of interior doors involves verifying that the doors properly fit the frame, latch and are functioning correctly. The inspector will check for easy opening and closing of the doors, proper hardware installation, and that the doors are not rubbing or sticking. The inspector will also examine the door hardware, including knobs, locks, and hinges, and verify that they are in good condition and functioning correctly.

The inspection of exterior doors requires verification of proper installation and functionality in addition to the features evaluated on interior doors. The inspector will ensure that the doors are secure, weather-tight, and function correctly with respect to their surrounding structures. The inspector will also evaluate the weather stripping and threshold and windows associated with each door to ensure that they are in good condition, free from cracks and that they adequately seal.

In addition, the inspector will look for any openings around both interior and exterior doors, which could lead to drafts that may affect energy efficiency and heating costs. They will ensure that the weather stripping is complete and sufficiently applied, and openings around the doors are sealed with caulk or foam.

Overall, a thorough inspection of interior and exterior doors is necessary to identify any potential hazards and defective areas that can result in significant damages ahead. The inspector will provide recommendations and necessary repair works to help prevent future damages and safeguard the home's structural integrity.

1: Garage Door Locks Present

Maintenance Item

Garage

The garage door locks are observed to be present during the time of this inspection. While having garage door locks in place can provide an additional layer of security, forgetting to unlock them can severely damage the garage door. It is recommended that these locks be removed after installation of the garage door. This is for informational purposes and awareness only. The door locks at the time of the inspection do not hinder the operational or functionality of the garage door.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Recommendation: Contact a qualified professional.



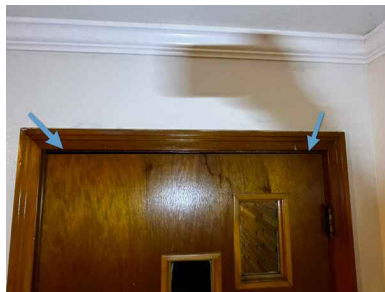
Garage

2: Door Not Plumb

 Maintenance Item

During the inspection, it was observed that the door was not plumb (square). A plumb door is crucial for proper functionality, alignment, and efficient operation. A misaligned door can lead to issues such as difficulty in closing, improper sealing, and potential energy inefficiencies. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.



3: Door Paint Failing/ Damaged

 Maintenance Item

During the inspection, it was observed that the door was in need of repainting. The existing paint shows signs of wear, fading, or peeling, which not only affects the door's aesthetic appeal but also exposes it to potential damage from the elements. Neglecting to address the need for repainting may lead to accelerated wear and deterioration of the door. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.

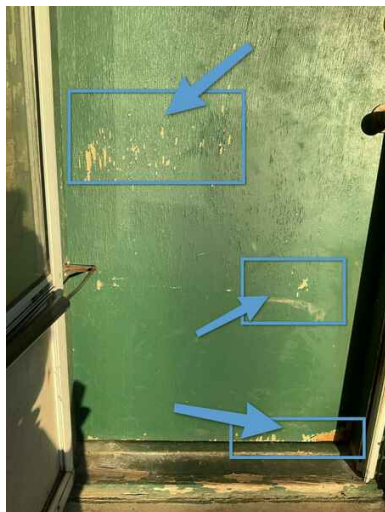
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



West- Back Door

4: Door Weather Strip Missing

🟡Recommendation

Various Locations

During the inspection, it was noted that the weather stripping around one or more external doors is either missing or damaged. Weatherstripping is a crucial component for maintaining energy efficiency by sealing gaps and preventing drafts, moisture, and external elements from entering the home. I recommend replacing the weather stripping as soon as possible or contacting a qualified contractor to evaluate and repair as needed.

Recommendation: Contact a qualified professional.



West- Back Door



East- Front Door

5: Garage Door Damaged/ Misaligned

🟡Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

During the inspection, it was observed that the garage door did not close completely. This could be due to the garage door being damaged or misaligned. A damaged or misaligned garage door not only impacts the aesthetic appeal of the property but also may compromise security, hinder smooth operation, and pose safety risks. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.



6: Door to Garage- Incorrect

▲Safety Hazard

Garage

During the inspection, it was noted that the door leading to the garage appears to be inappropriate, potentially failing to meet current building code standards or safety requirements. The internal door leading to the garage should be a minimum of 1 3/8 inches thick – either a solid wood door, a solid or honeycomb-core steel door, or a 20-minute fire door, must not have openings or glazing, and is self-closing. This can pose a safety risk. I recommend a qualified contractor replace this door with a fire-rated door.

Recommendation: Contact a qualified professional.



Door to Garage

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

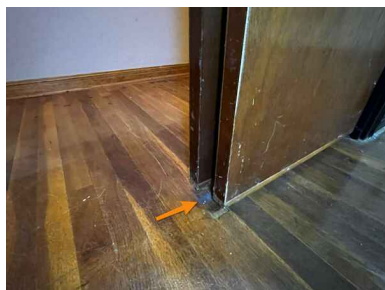
7: Door Rail Missing

🔴Recommendation

Bedroom 1

During the inspection, it was observed that one or more closet sliding door was loose. This may be caused by missing components or misalignment. A loose sliding door can impact both functionality and aesthetics, leading to difficulties in operation and potential safety concerns. Neglecting to address a loose sliding door may result in continued difficulties in opening and closing, potential damage to the door or tracks, and diminished overall functionality. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Sliding Door

☒ ☐ ☐ ☒

H. Windows

Comments:

A home inspection service should also include an inspection of windows. The inspector will evaluate the condition of the windows, including any cracks, chips, or rot. They will also examine the frames and seals to ensure there is no air infiltration or moisture intrusion. The inspection will also include checking the functionality of the windows to ensure they open, close, and lock properly. This is important for energy efficiency and safety purposes. The inspector may also check for any damage to the window screens or window treatments such as blinds or curtains.

1: Glazing Cracked/ Damaged

🔴Recommendation

During the inspection, it was observed that one or more window glazing (glass) was broken. Window glazing plays a critical role in maintaining the integrity and insulation of windows, preventing air leaks and moisture ingress. Neglecting to repair broken window glazing may lead to issues such as drafts, increased energy costs, and potential water damage. I recommend a qualified contractor be consulted for further evaluation and repair or replacement as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Living Room

2: Screen Damaged

 Maintenance Item

Southwest

During the inspection, it was noted that one or more window screens exhibited damage. Window screens are essential for maintaining a comfortable and insect-free indoor environment while allowing for ventilation. I recommend replacing the screen as needed.

Recommendation: Contact a qualified professional.



Window Screen



Window Screen

3: Window Inoperable

 Recommendation

Various Locations

During the inspection, it was observed that one or more windows in the property were not operable. Properly functioning windows are crucial for ventilation, natural light, and emergency egress. Non-operable windows

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

not only limit these essential aspects but also pose potential safety concerns. I recommend a qualified window contractor evaluate and repair windows so that they are functional.

Recommendation: Contact a qualified window repair/installation contractor.



Living Room



Living Room



Extra Room/ Bedroom 3



Bedroom



Bedroom

4: Window Trim Damage/ Deteriorated

🔴Recommendation

Southwest

One or more of the wood exterior window trim components were observed to be damaged and/or show signs of deterioration at the time of this inspection. Recommend having them repaired, sealed and/or replaced as needed to help prevent possible water penetration.

Recommendation: Contact a qualified window repair/installation contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Window Trim

5: Caulking Missing/ Deteriorated

🔴Recommendation

Various Locations

During the inspection, it was observed that caulking was missing or deteriorated around one or more external windows. Caulking is a crucial component for weatherproofing and sealing gaps, preventing water infiltration, and maintaining energy efficiency. Neglecting to replace missing caulking around an external window may lead to issues such as water penetration, drafts, and potential damage to the surrounding structure. I recommend replacing the missing or deteriorated caulk as soon as possible.

Recommendation: Contact a handyman or DIY project



External Window



External Window



External Window

6: Window Unable to Lock Properly

🔴Recommendation

Various Locations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

During the inspection, it was noted that one or more window locks were not functioning properly. Window locks are integral to home security, providing a barrier against unauthorized access and enhancing the overall safety of the property. I recommend a qualified person evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Bedroom



Bathroom



Living Room

I. Stairways (Interior and Exterior)

Comments:

Stairways, both interior and exterior, are an important part of a home inspection service. The inspector will evaluate the condition of the stairs, including any cracks or damage to the treads or risers. They will also examine the handrails and guardrails to ensure they are securely anchored and provide adequate support. The inspector will also check the slope and rise of the stairs to ensure they meet building code requirements for safety. Exterior stairways will also be evaluated for any damage to the steps or support structure and any signs of rot or decay. Overall, a thorough inspection of stairways is important for the safety of occupants and visitors to the property.

1: Handrail Loose

▲Safety Hazard

During the inspection, it was observed that the handrail was loose at one or more locations. A loose handrail poses a safety hazard, as it may fail to provide adequate support and stability for individuals using it, increasing the risk of accidents, slips, or falls. I recommend a qualified contractor evaluate and repair immediately.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



East



East

2: Handrail Missing

▲Safety Hazard

Handrails are missing in one or more staircases on the property, posing a safety hazard of falling. Handrails are horizontal or sloping railings that provide support and guidance for individuals while ascending or descending stairs, ramps, or other elevated surfaces. They are an essential safety feature in buildings and outdoor spaces, helping to prevent falls, provide stability, and assist with balance. Handrails are typically installed on one or both sides of a stairway, ramp, or elevated surface. They are positioned at a height that allows individuals to comfortably reach and grasp them (roughly 34-38 inches). I recommend a qualified contractor assess and provide solutions to resolve the hazard.

Recommendation: Contact a qualified professional.



West

3: Landing/ Platform Insufficient

▲Safety Hazard

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

The landing/ platform at the top of the stairs is insufficient or nonexistent. When steps lead to an entry door, the platform at the top should be large enough to stand on (3' minimum) while opening an outward swinging door. When the platform is too small or a person has to stand on the steps, it can cause an individual to be knocked down by someone exiting the property. This is a safety hazard. I recommend a qualified contractor assess the situation and provide solutions to resolve the hazard.

Recommendation: Contact a qualified professional.



West

J. Fireplaces and Chimneys

Comments:

A home inspection service will typically include an evaluation of the condition of fireplaces and chimneys. The inspector will check for any signs of damage or cracks in the chimney stack, flue, and firebox. They will also check for any obstructions or buildup of creosote or debris that could pose a fire hazard. In addition, the inspector will examine the damper and the smoke chamber to ensure they are functioning properly.

The inspector will also evaluate the condition of the fireplace and its accessories, including the grate, hearth, and mantel. They will check for any signs of damage, such as cracks in the brick or stonework. The inspector will also evaluate the location of the fireplace to ensure it meets building code requirements for placements and clearances.

If necessary, the inspector may recommend further evaluation by a chimney sweep or other professional to address any identified issues. Overall, a thorough inspection of fireplaces and chimneys is important for safety and to ensure they are functioning properly.

Operable Fireplaces: None

Not A Design Inspection:

This company does not inspect the shape/design of the fireplace to determine if the fireplace has a proper air draw and combustion. This is for your information.

K. Porches, Balconies, Decks, and Carports

Comments:

A home inspection service will typically include an evaluation of porches, balconies, decks, and carports. The inspector will evaluate these areas for stability, structural integrity, and safety.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

The inspector will check all materials used for construction, such as wood, metal, or concrete, to make sure they are in good condition. The inspector will check for any signs of rot, insect damage, or other types of wear and tear. They will also evaluate the supports and footing of the structure.

The inspector will also evaluate the overall design of the porch, balcony, deck, or carport, looking for proper railings and stairs to ensure that everything is up to code.

The inspector will also check for any potential hazards, such as exposed nails, sharp edges, or any other conditions that could cause injury.

If any issues are found, the inspector will provide a detailed report and may recommend further evaluation by a professional for repairs or improvements. Overall, a thorough inspection of porches, balconies, decks, and carports is important to ensure the safety and stability of these structures.

Balcony Present: No -
Location(s):

Carport Present: No -
Location(s):

Deck Present: No

Patio Present: No

Porch Present: Yes -
Location(s):

Weight Capacity Not Accessed:

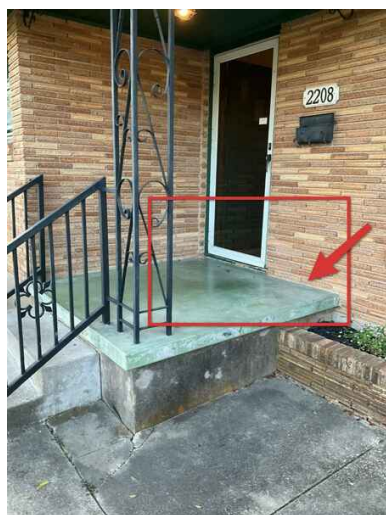
The weight and load capacity are not a part of this inspection. This is for your information.

1: Porch/ Stoop Missing Guardrails

▲Safety Hazard

During the inspection, it was observed that the porch/ stoop is missing guardrails, presenting a safety concern for individuals accessing or descending from this elevated platform. Stoops are commonly characterized by a few steps leading up to a raised platform or porch, providing a transitional space between the exterior and interior of a home. Guardrails are essential safety features, providing a barrier to prevent accidental falls and ensuring the well-being of residents and visitors. I recommend a qualified contractor evaluate and repair as needed.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

East

2: Patio Cracked

 Maintenance Item

West

During the inspection, it was observed that the concrete patio exhibits visible cracking. Cracks in concrete surfaces can occur due to a variety of factors, including weather conditions, settling, or improper installation. This does not affect the affect integrity of the property's foundation. This is for your information.

* If you want to fix the problem, I recommend consulting with a qualified landscape professional who specializes in concrete patios.

Recommendation: Contact a qualified professional.



Patio

L. Other

Comments:

This section is for items not specifically covered in the main sections. This is for your information.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Electrical inspection is a crucial component of home inspection services as it ensures that the electrical system of the property is functioning safely and efficiently. The inspection typically includes checking the main service panel, wiring, electrical outlets, switches, light fixtures, and other electrical components to identify any deficiencies or safety hazards. The inspector will also check for compliance with codes and standards, such as proper grounding and the presence of GFCI (ground fault circuit interrupter) protection in areas that are exposed to moisture. A thorough electrical inspection can prevent potential electrical hazards, fire hazards, and electrical shock incidents from occurring.

Service Entrance: Service Drop (overhead)



Main Panel Capacity: 200 AMP
West- Outside



200 AMP Main Breaker

Main Panel Manufacturer: General Electric

Main Panel Type: Circuit Breakers

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

West- Outside



Main Service Panel Breakers

Main Panel Wiring: Conduit
Sub Panel Manufacturer: Square D
Garage



Garage- Subpanel

Sub Panel Type: Circuit Breakers
Garage

I=Inspected

NI=Not Inspected

NP=Not Present

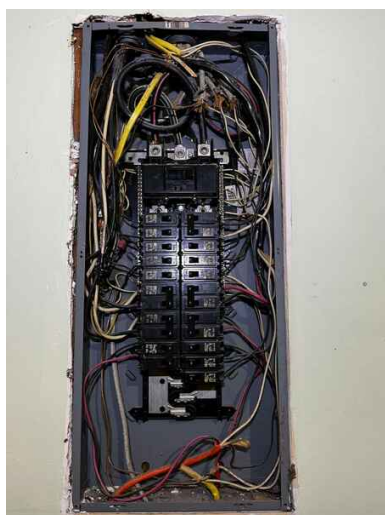
D=Deficient

I NI NP D



Circuit Breakers

Sub Panel Wiring: Conduit
Garage



Subpanel Wiring

1: AFCI Missing

🔴 Recommendation

Garage

Arc Fault Circuit Interrupter (AFCI) breakers are missing in the service panel. AFCIs are intended to protect structures from fire caused during an arcing fault condition of the wiring within the wall, the installed switches and outlets, and the equipment plugged in. AFCIs are required in all living spaces except where GFCIs are required. I recommend a licensed electrician evaluate and repair as needed.

Recommendation: Contact a qualified electrical contractor.

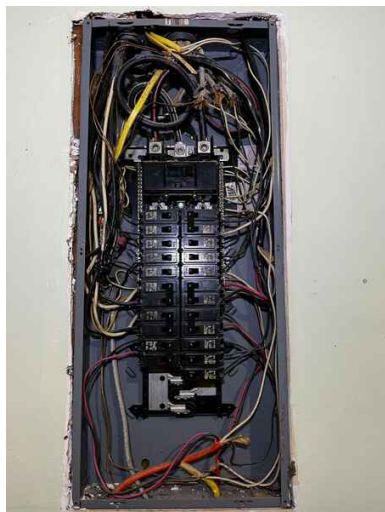
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Circuit Breakers

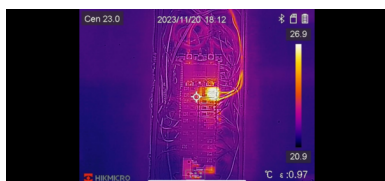
2: Breaker- Hot/ Overheating

▲Safety Hazard

Garage

During the inspection, one or more circuit breakers were observed to be hot/ overheating. A hot breaker is a serious concern as it may indicate issues such as overloading, poor connections, or potential electrical faults. This may cause the breaker to fail and could cause a fire in the future. This situation poses a significant fire hazard and requires immediate attention from a qualified electrician. I recommend a licensed electrician evaluate and repair as needed.

Recommendation: Contact a qualified electrical contractor.



Subpanel Breaker



Subpanel Breaker

3: Debris in Panel

🟡Recommendation

Debris was observed in one or more electrical panels. Debris in the electrical panel can include dust, dirt, cobwebs, loose wires, or any foreign materials that have made their way inside the panel. Debris in the electrical panel can include dust, dirt, cobwebs, loose wires, critters, or any foreign materials that have made their way inside the panel. I recommend a licensed electrical contractor evaluate and remove all debris from inside the panel.

Recommendation: Contact a qualified professional.

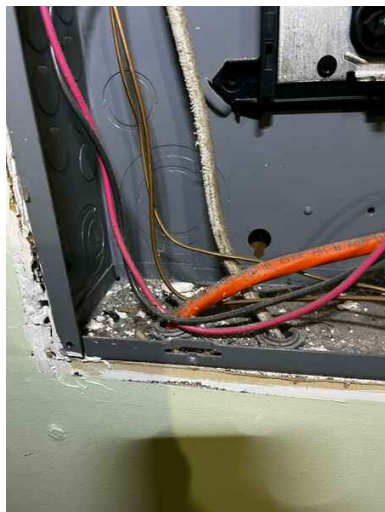
I=Inspected

NI=Not Inspected

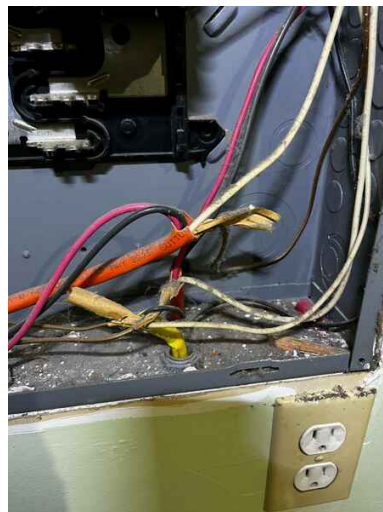
NP=Not Present

D=Deficient

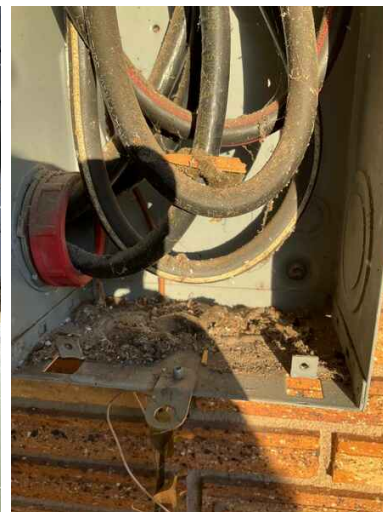
I NI NP D



Subpanel



Subpanel



Main Panel

4: Missing panel screws

▲ Safety Hazard

Northwest- Outside

The panel is missing cover screws for the front cover. This is a safety issue that needs correcting. I recommend a qualified electrician be consulted for further evaluation and repair.

Recommendation: Contact a qualified professional.



Main Panel

5: Panel Mislabelled/ Not Labelled

▲ Safety Hazard

Garage

The electrical panel is not properly labeled. Labeling an electrical panel is an important safety measure that helps identify and organize the various circuits and breakers within the panel. Proper labeling makes it easier for electricians, homeowners, or building occupants to identify specific circuits for maintenance,

I=Inspected

NI=Not Inspected

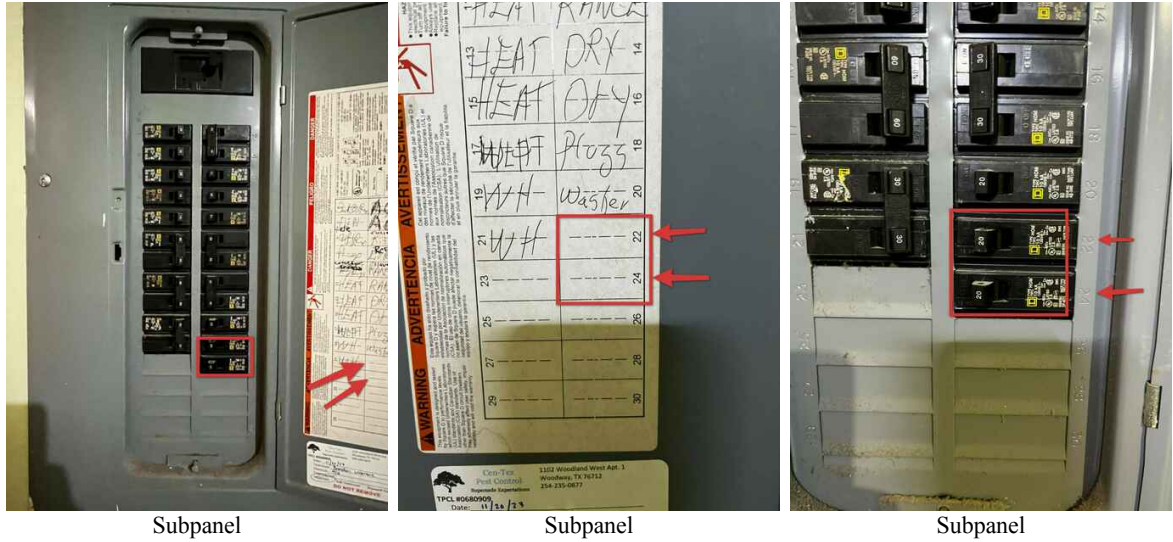
NP=Not Present

D=Deficient

I NI NP D

troubleshooting, or emergency situations. I recommend a licensed electrical contractor evaluate and label panels correctly.

Recommendation: Contact a qualified electrical contractor.



6: Surge Protector Missing

🔴 Recommendation

During the inspection, it was observed that there was a missing surge protector in the electrical panel. Surge protectors play a crucial role in safeguarding electronic devices and appliances from voltage spikes, helping prevent potential damage caused by power surges. The absence of a surge protector increases the vulnerability of sensitive electronic equipment to fluctuations in the electrical supply, which may occur due to lightning strikes, utility grid issues, or other electrical disturbances. I recommend a qualified electrician be consulted for further evaluation and repair.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

7: Wires Too Close To Vegetation

🔴Recommendation

Northwest Corner of Property

During the inspection, it was noted that electrical wires are in close proximity to trees and overhanging branches. This presents a notable safety concern as it increases the risk of potential hazards such as electrical fires, outages, or damage to the wiring due to contact with tree limbs. To address this issue, it is strongly recommended to engage the services of a qualified arborist and an electrician. The arborist can assess the trees in proximity to the wires, trim or remove branches as needed, and ensure a safe distance between the vegetation and the electrical lines. Simultaneously, the electrician can inspect the wiring for any damage and make necessary adjustments or repairs to enhance safety.

Recommendation: Contact a qualified professional.



Overhead Mast Wiring

8: Wire Oversized For Breaker

⚠️Safety Hazard

Garage

During the inspection, it was observed that oversized wires were connected to a breaker in the electrical panel. The use of oversized wires can pose significant safety risks, potentially leading to overheating, damage to the electrical panel, and increased fire hazards.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

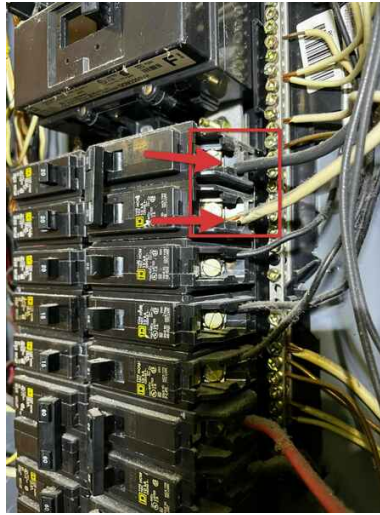
NP=Not Present

D=Deficient

I NI NP D



Subpanel



Subpanel

9: Service Panel- Neutral/ Ground Wires on Same Bus Bar

▲ Safety Hazard

Garage

The electrical sub-panel was observed to have neutral and ground wires on the same bus bar. Combining neutral and ground wires on the same bus bar in an electrical sub-panel raises concerns about proper grounding practices and potential safety hazards. The neutral and ground wires serve distinct purposes in an electrical system, and keeping them separate is essential for maintaining a safe and effective electrical installation. The neutral wire returns the current from the electrical load to the source, typically the utility transformer. On the other hand, the ground wire is a safety feature that provides a path for fault currents to safely flow into the ground, preventing electrical shock hazards. I recommend a licensed electrician evaluate and repair the deficiency as needed.

Recommendation: Contact a qualified electrical contractor.



Subpanel

B. Branch Circuits, Connected Devices, and Fixtures

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Comments:

Branch circuits and fixtures are an important part of the electrical system and are included in a home inspection service. The inspector will evaluate the branch circuits, which are the cables that connect electrical devices and appliances to the electrical panel. This includes checking the wiring and connections for damage and wear, testing the receptacles and switches, and ensuring that the circuit is properly grounded and protected by a circuit breaker of the appropriate size.

The inspection of fixtures involves examining the light fixtures, fans, and other similar components for proper operation and safety. The inspector will check the wiring, bulbs, and mounting brackets to make sure everything is securely in place and functioning correctly. They will also evaluate any special features of the fixtures, such as dimmer switches or remote controls, to make sure they are functioning properly and do not pose a safety hazard.

Type of Branch Circuit Conductors: Copper

Smoke and CO2 Alarm Replacement:

Assessing the age and/ or life expectancy of the smoke and carbon monoxide (CO2) alarms is out of the scope of this inspection. Most manufacturers recommend replacing smoke alarms after about 10 years. Carbon monoxide alarms have a shorter service life of around 5 to 7 years. I recommend replacing all smoke and CO2 alarms unless the currently installed alarms can be accurately verified.

1: Carbon Monoxide Detector Missing

▲Safety Hazard

There are not enough carbon monoxide detectors located in the home and/ or are inoperable. Under current building standards, an approved carbon monoxide alarm shall be installed in dwelling units within which fuel-fired appliances are installed and/or in dwelling units that have an attached garage. One detector must be installed on each floor level and/or in the immediate vicinity of each separate sleeping area. The detectors observed on the property appear to be smoke detectors only. This is a safety concern. I recommend a licensed electrician evaluate and repair as needed.

Recommendation: Contact a qualified professional.

2: GFCI Missing

▲Safety Hazard

Outdoor, Kitchen, Bathrooms, Garage

Ground Fault Circuit Interrupter (AFCI) breakers are missing in the service panel. GFCIs are intended to protect personnel from shock during a ground fault. GFCIs are required in receptacles where water is present such as kitchen countertops, bathrooms, garages, laundry rooms, unfinished basements, unfinished detached buildings, crawlspaces, and outdoors. GFCIs are not required in locations that have an Arc Fault Circuit Interrupter (AFCI) already. I recommend a licensed electrician evaluate and repair as needed.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation: Contact a qualified professional.

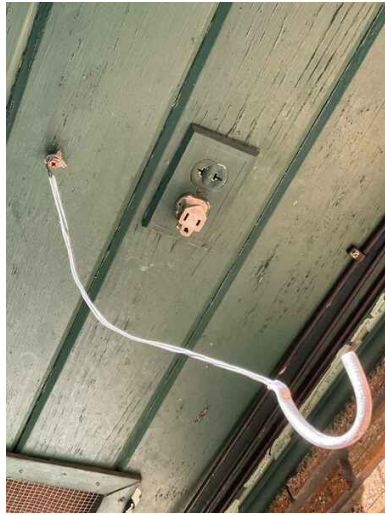
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

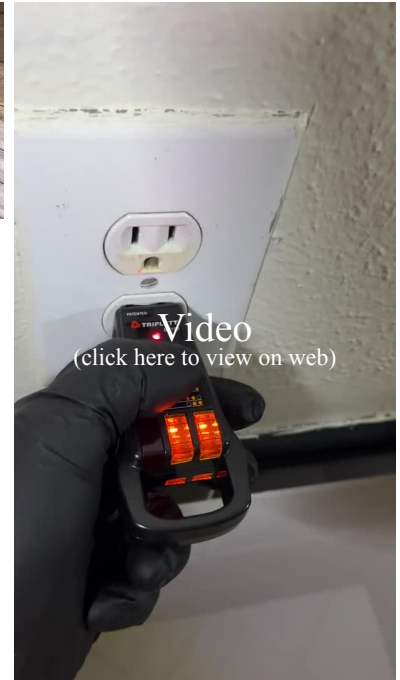
I NI NP D



West- Outside



Video
(click here to view on web)



Video
(click here to view on web)



Video
(click here to view on web)



Video
(click here to view on web)

3: Light Fixture Touching Insulation

⚠ Safety Hazard

Attic

There is a light fixture that is in contact with insulation in areas of the attic. I am unable to determine if the light fixture is rated to be in contact with insulation. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Recommendation: Contact a qualified professional.



Light Fixture



Light Fixture

4: Light Fixture Cover Missing

[Maintenance Item](#)

During the inspection, it was observed that one or more light fixtures were missing its protective cover. The protective cover serves as a crucial safety feature, preventing direct contact with the light bulb and reducing the risk of accidental breakage or exposure to electrical components.

Recommendation: Contact a qualified professional.



Closet Light



Closet Light

5: Light Inoperable

[Maintenance Item](#)

Various Locations

One or more of the lights were inoperative at the time of the inspection. This condition can be caused by a blown light bulb or a bad circuit. Recommend further evaluation and replace as needed. If the bulbs are not blown, the circuit should be investigated.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Southeast



Northwest

6: Receptacle- Cover Plates Damaged

 Maintenance Item

Garage

Some outlets have a damaged cover plate in some areas. I recommend replacing it with a new cover plate.

Recommendation: Recommended DIY Project



Receptacle Cover Plate

7: Receptacles Not Tamper-Resistant

 Maintenance Item

There are several receptacles throughout the house that are not tamper-resistant. This is a new standard. Tamper-resistant receptacles are equipped with internal shutters that block foreign objects from being inserted into the outlet. I recommend a licensed electrician evaluate and repair/ replace as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

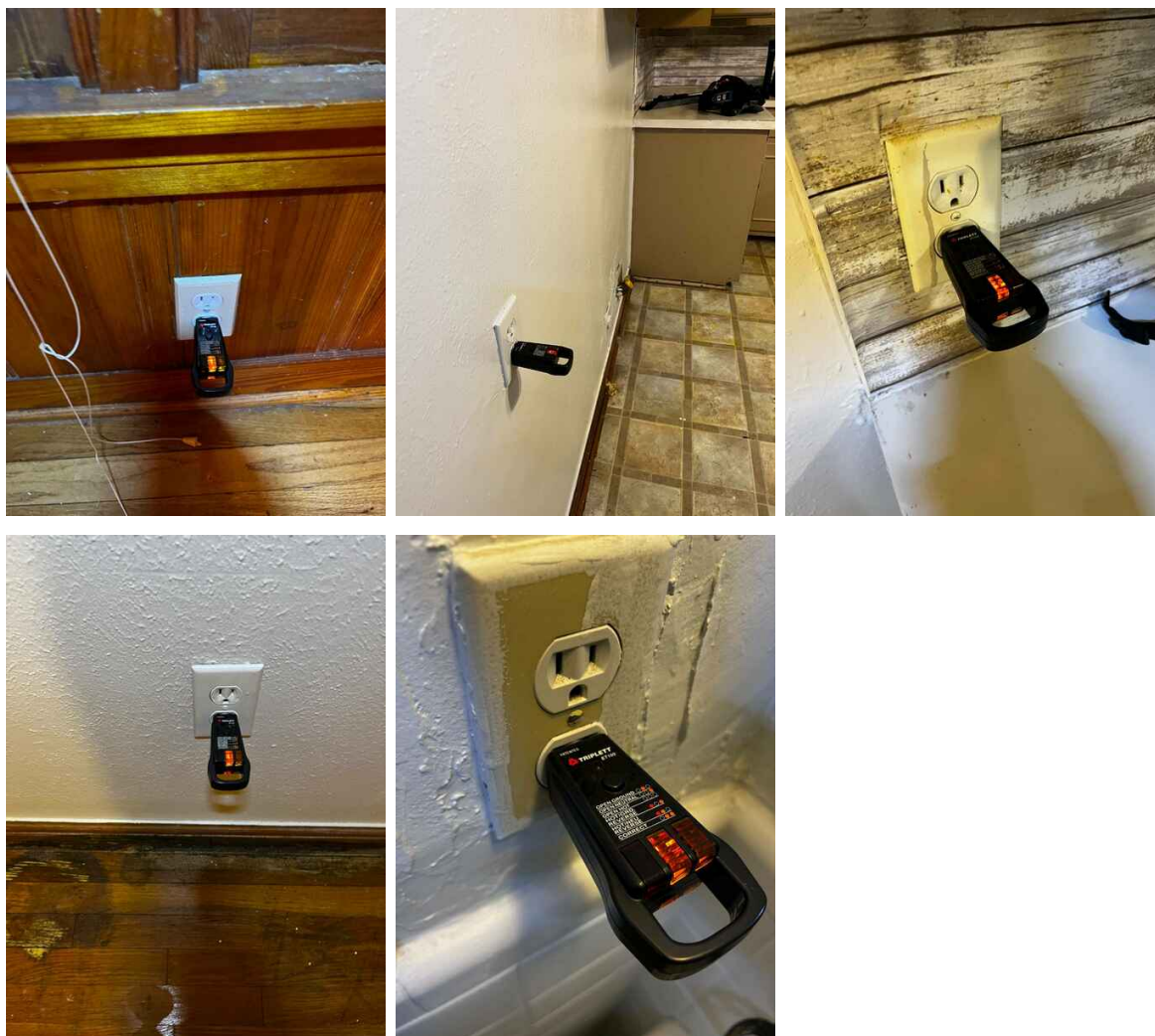
I	NI	NP	D
---	----	----	---

8: Receptacle- Ungrounded

▲Safety Hazard

During the inspection, it was identified that one or more receptacles in the property were not grounded. Grounding is a crucial safety feature in electrical systems, providing a path for electrical currents to dissipate safely in the event of a fault or surge. Neglecting to ground receptacles poses significant safety risks, including the potential for electric shock or damage to connected devices. This is a safety issue that needs correcting. I recommend a licensed electrician be consulted for further evaluation and repair as needed.

Recommendation: Contact a qualified electrical contractor.



9: Smoke Detectors- Missing

▲Safety Hazard

During the inspection, it was identified that there were missing smoke detectors in one or more locations. Smoke detectors are vital components of a home's safety system, providing early detection of smoke and potential fires, thereby safeguarding the lives and property of residents. The absence of smoke detectors poses a serious safety risk, as it diminishes the ability to detect and respond promptly to a fire. Smoke detectors are required in bedrooms, hallways, and every level of the home. I recommend a qualified electrician install detectors in the required areas.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified professional.

10: Junction Boxes Missing

▲ Safety Hazard

Various Locations

During the inspection, it was observed that there are missing junction boxes in the electrical system. Junction boxes are critical components in electrical installations, providing protective enclosures for wire connections and contributing to the overall safety and organization of the wiring. The absence of junction boxes raises significant concerns as it increases the risk of exposed wires, potential electrical hazards, and difficulties in identifying or resolving electrical issues. I recommend a licensed electrician evaluate and repair as needed.

Recommendation: Contact a qualified electrical contractor.



Attic- HVAC Unit



Garage- Water Heater



Extra Room/ Bedroom 3

11: Light Switch Inoperable

🔴 Recommendation

Kitchen

During the inspection, it was observed that one or more light switches were inoperable. A non-functioning light switch can be indicative of electrical issues, faulty wiring, a malfunctioning switch, or a switch that is not connected. I recommend a licensed electrician evaluate and correct the problem.

Recommendation: Contact a qualified electrical contractor.



Kitchen

12: Wire Exposed

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

▲Safety Hazard

Northwest

During the inspection, it was observed that there were exposed wires in one or more areas. Exposed wires pose a significant safety hazard, as they can lead to electrical shocks, fires, and other potential dangers. This is a safety concern. I recommend a licensed electrician evaluate and correct the concern.

Recommendation: Contact a qualified electrical contractor.



Exposed Wire

13: Ground Rod Improper Install

▲Safety Hazard

Northwest

During the inspection, it was noted that there were concerns related to the grounding rod. Proper grounding is crucial for the safety and functionality of the electrical system. The grounding rod should be at least 8 ft long and fully submerged. An exposed grounding poses a tripping hazard and may not perform as intended. I recommend a licensed electrician evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Grounding Rod

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
----------	-----------	-----------	----------

C. Other

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Comments:

Home inspection of heating equipment is an essential component to ensure the efficiency, safety, and proper functioning of heating equipment. The inspection typically includes the evaluation of various types of heating equipment, such as boilers, furnaces, heat pumps, radiators, baseboard heaters, fireplaces, and chimneys.

The inspector will evaluate the heating equipment to ensure that it is in good working condition and that it complies with local building codes and standards. They will check for any potential safety hazards, such as carbon monoxide leaks, gas leaks, or improper ventilation. The inspector will also evaluate the age and condition of the heating equipment and recommend necessary repairs or replacements.

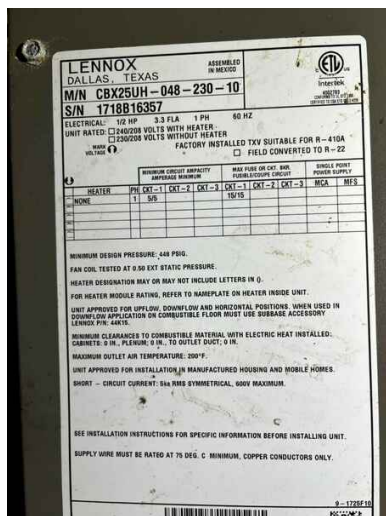
Additionally, the inspector will evaluate the heating system's fuel source, such as natural gas, oil, or electricity, and check for proper connections, fuel supply lines, and any potential hazards. The inspection of heating equipment will also include examining the thermostats, piping, and insulation to ensure the system is functioning optimally.

Overall, a thorough evaluation of heating equipment during the home inspection is critical in ensuring the home is comfortable, efficient, and safe for its occupants.

Number of Heat system: One

Heat System Brand: Lennox -

Month/ Year Manufactured: February 2018



Attic

Energy Sources: Electric

Type of Systems: Forced Air

Location of Thermostat:

Hallway

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Hallway

Heating Element Not Tested:

Standards of Practice require inspectors to operate HVAC units when temperatures are below 60 degrees. At the time this unit was inspected, the outside ambient temperature was above 60 degrees therefore the performance operation of this unit was not tested. If any concerns exist about the future operation of the heating equipment, then it is recommended that a Qualified HVAC Technician further inspect and give an evaluation on the operation of the equipment and any further concerns that may exist with this equipment prior to the expiration of any option periods, warranties and/or time limitations.

1: Furnace Service Clearance Inadequate

➡Recommendation

One or more furnaces do not have the appropriate clearance to be serviced and/ or inspected properly. A level service space at least 30 inches wide by 30 inches deep should be provided in front of all parts of the appliances that require service. I recommend a licensed HVAC contractor assess and provide solutions to resolve the clearance issue.

Recommendation: Contact a qualified HVAC professional.



Attic

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

2: Registers Need Cleaning

 Maintenance Item

The registers (also known as air vents or grilles) in the HVAC system need cleaning. Dirty or clogged registers can negatively impact the efficiency of your heating and cooling system, leading to poor indoor air quality, reduced airflow, and potentially higher energy bills. This could also be a sign that the ducts are dirty and need cleaning. I recommend a qualified HVAC contractor evaluate and clean as needed.

Recommendation: Contact a qualified HVAC professional.

3: Drain Pan Rusted

 Recommendation

During the inspection, it was noted that the HVAC drain pan is exhibiting signs of rust. The presence of rust on the drain pan raises concerns about its structural integrity and potential for water leakage. A rusted drain pan may compromise the effectiveness of the HVAC system, leading to water damage and reduced indoor air quality. I recommend a licensed HVAC professional evaluate and replace the drain pan as needed.

Recommendation: Contact a qualified HVAC professional.



B. Cooling Equipment

Comments:

Home inspection of cooling equipment is an essential component to ensure the efficiency, safety, and proper functioning of cooling equipment on a property. The inspection typically includes the evaluation of various types of cooling equipment such as central air conditioning systems, window air conditioning systems, and ductless mini-split air conditioning systems.

The inspector will start by evaluating the age and condition of the cooling equipment and check whether it is working correctly. The inspector will also verify that the system complies with local building codes and standards. They will evaluate the system's safety and efficiency, checking for potential hazards or leaks and ensuring the proper functioning of the cooling system's components such as coils, compressors, and refrigerant lines.

Additionally, the inspector will examine the thermostats, controls, and wiring to make sure the cooling system is operating efficiently. The inspection of cooling equipment will also include examining the ductwork and vents to verify that they are clean, structurally sound, and free of any obstruction that can impede airflow.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Overall, a thorough evaluation of cooling equipment, as a part of a home inspection, is critical in ensuring the proper functioning of a home's cooling system, keeping the home comfortable during the hotter months, and helping to reduce energy costs.

Number of AC Condensers/Units: One

System Manufacturer: Lennox -

Month/ Year Manufactured: May 2018



North



North

Type of Systems: Central Air Conditioner

Location of Thermostat:

Hallway



Hallway

1: Condenser- Debris

Maintenance Item

North- Outside

During the inspection, it was observed that the condenser unit was impacted by debris accumulation. The presence of debris in the condenser poses a potential risk to the efficiency and performance of the HVAC system. Debris such as leaves, grass clippings, or dirt can obstruct the airflow, reducing the system's

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

efficiency and causing it to work harder to achieve desired temperatures. This may lead to increased energy consumption, higher utility costs, and potential strain on the HVAC components. I recommend cleaning out the debris in and around the unit to ensure the equipment is working efficiently. If there are any concerns in the future, contact a licensed HVAC professional for evaluation.

Recommendation: Contact a qualified HVAC professional.



Condenser Unit



Condenser Unit

2: Tested and Not Working Properly

🔴 Recommendation

The air at the supply and return air vents were measured using a laser thermometer and/or thermal imaging equipment. The differential between the supply and the return air is used to determine the performance of the cooling system. At the time of the inspection the system failed to achieve a 15 to 22 degrees Fahrenheit (F) temperature differential. Recommend evaluation by a licensed HVAC technician.

Recommendation: Contact a qualified professional.



Hallway



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

C. Duct Systems, Chases, and Vents

Comments:

Home inspection of duct systems, chases, and vents is important to ensure the proper functioning of the home's heating and cooling system, energy efficiency, and safety. The inspectors will evaluate the ductwork, chases, and vents to determine whether they are working appropriately.

The inspection of duct systems involves checking for proper insulation and the condition of the ductwork. The inspector will also evaluate the size of the ductwork installed to ensure that it is compatible with the HVAC unit. Additionally, they will examine for ductwork damage and leaks that could undermine the efficiency of a heating or cooling system.

The inspection of chases typically includes verifying that they are structurally stable and performing efficiently. The inspector checks for any damage, water intrusion, or mold growth inside the chases.

Vent inspections involve assessing the air circulation in a property. This includes examining the air vents and registers, checking that they are clear of obstructions such as furniture and debris, and ensuring that they are functioning correctly.

Overall, a thorough evaluation of duct systems, chases, and vents during a home inspection will help identify potential energy inefficiencies, and fire risks, and allow the inspector to provide recommendations for correcting identified issues. The inspection will lead to a safer and more comfortable living environment for the occupants.

Ductwork: Insulated

1: Ductwork Damaged

Recommendation

Attic

One or more of the insulated ducts were observed to be damaged and/or not properly sealed at the time of this inspection. This issue can lead to uneven heating or cooling, increased energy consumption, and reduced overall system effectiveness. Additionally, damaged ducts may contribute to the infiltration of contaminants, affecting indoor air quality. I recommend further evaluation and repair as needed to ensure optimum efficiency.

Recommendation: Contact a qualified HVAC professional.



Ductwork



Ductwork



Ductwork

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Ductwork

2: Ductwork in Contact with Other Ductwork

🔴 Recommendation

Attic

During the inspection, one or more ductwork were touching. Properly spaced and supported ductwork is essential for maintaining optimal airflow, reducing energy consumption, and prolonging the lifespan of the HVAC system. Neglecting to address ductwork contact may lead to increased operational costs, reduced system efficiency, the development of condensation, and potential discomfort for occupants. I recommend a licensed HVAC technician be consulted for further evaluation and repair.

Recommendation: Contact a qualified HVAC professional.



Ductwork

3: Ductwork Not Installed Properly

🔴 Recommendation

Attic

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

During the inspection of the ductwork in the attic, it was observed that one or more components were improperly installed. Common problems associated with improperly installed ductwork include air leaks, inadequate insulation, or improper connections. These issues can lead to uneven heating or cooling, increased energy consumption, and reduced overall system effectiveness. Additionally, poorly installed ducts may contribute to the infiltration of contaminants, affecting indoor air quality. I recommend a licensed HVAC contractor evaluate and repair as needed.

Recommendation: Contact a qualified HVAC professional.



Attic



Attic

D. Other

E. Evaporative Cooler

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Comments:

A home inspection service will typically include an evaluation of plumbing supply, distribution systems, and fixtures. The inspector will evaluate these areas for leaks, correct installation, and functionality.

The inspector will check all plumbing fixtures, such as sinks, toilets, showers, tubs, and faucets, to ensure they are in good working order. They will also evaluate the water supply system, including the water heater, to ensure that hot water is readily available and functioning properly.

The plumbing system will be evaluated for any leaks or damaged pipes, as well as to ensure proper drainage through the sewer and waste system. The inspector will also check the condition of the pipes and any visible joints to ensure they are in good condition and properly installed.

If any issues are found, the inspector will provide a detailed report and may recommend further evaluation by a licensed plumber for repairs or improvements. Overall, a thorough inspection of the plumbing supply, distribution systems, and fixtures is important to ensure that there are no problems with the water supply and drainage systems in the home.

Water Source: Public



Location of Water Meter: Exterior

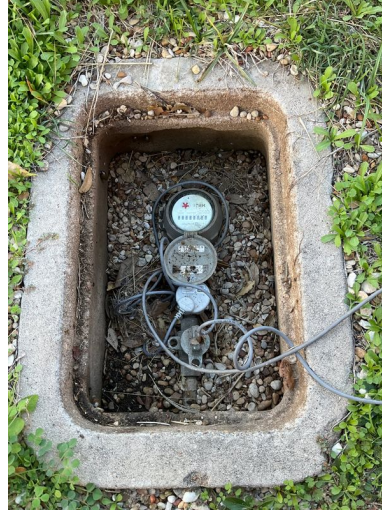
I=Inspected

NI=Not Inspected

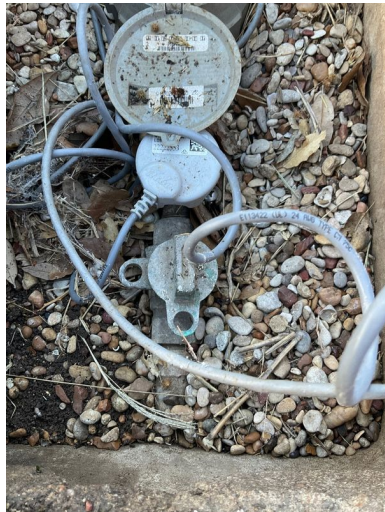
NP=Not Present

D=Deficient

I NI NP D



Location of Main Water Supply Valve : Exterior



Pressure Reducing Valve Present: No -
A pressure reducing valve is necessary when the static water pressure exceeds 80 PSI.

Plumbing Supply Entering Home: Galvanized

I=Inspected

NI=Not Inspected

NP=Not Present

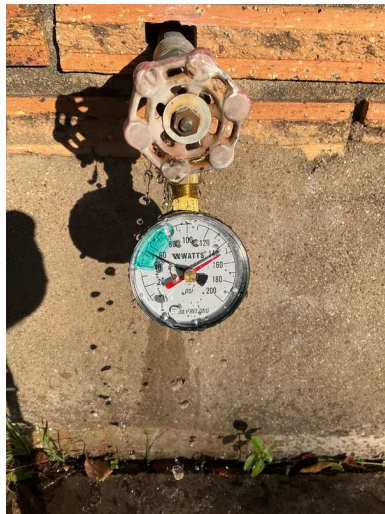
D=Deficient

I	NI	NP	D
---	----	----	---



East- Water Meter

Static Water Pressure Reading: 53



Plumbing Supply Inside Home: Copper, Galvanized



Crawlspace- Water Distribution Pipe



Crawlspace- Water Distribution Pipe

Expansion Tank Present: No -

An expansion tank is necessary at the water heater(s) when a pressure reducing valve is in place at the water supply line/system.

Water Filter: None

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Refrigerator Line Not Tested:

The refrigerator line was not tested at the time of the inspection due to the concern of causing damage to the property. If you have concerns about the refrigerator line, please contact a qualified plumbing professional to evaluate.

Kitchen

1: Galvanic Corrosion Observed

🔴 Recommendation

Galvanic corrosion was observed in one or more areas. Galvanic corrosion, also known as bimetallic corrosion or dissimilar metal corrosion, is an electrochemical process that occurs when two different metals are in contact with each other in the presence of an electrolyte (such as water or moisture). Galvanic corrosion can lead to structural damage and reduced functionality in metal components, especially in marine environments or when dissimilar metals are used together in plumbing systems or construction applications. I recommend a licensed plumbing contractor evaluate and repair as needed.

Recommendation: Contact a qualified plumbing contractor.



Crawlspace- Copper Pipe

2: Toilet Loose

🔴 Recommendation

During the inspection, one or more toilets were observed to be loose. A loose toilet is a notable concern that requires attention to prevent potential issues such as leaks, instability, and damage to the flooring. A securely anchored toilet is essential for proper functioning and to avoid water leaks, which can lead to more extensive damage over time. The looseness may be attributed to issues with the toilet bolts, wax ring, or the flooring beneath. I recommend a qualified contractor be consulted for further evaluation and repair.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



3: Bib Anit-Siphon Missing

[Maintenance Item](#)

One or more of the exterior hose bibs were missing the recommended anti-siphon devices installed. Anti-siphon devices help to prevent contaminated water from entering the water system when negative pressures occur in the plumbing system. I recommend replacing it as needed for improved safety.

Recommendation: Contact a qualified plumbing contractor.

4: Sink Faucet Sprays Water

[Maintenance Item](#)

During the inspection, one or more sink faucets were observed to spray in excess. The faucet sprayed water outward beyond the containment of the sink. This could be remedied by simply replacing the aerator in the faucet end. If the issue continues, I recommend contacting a qualified plumbing professional to evaluate and repair as needed.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



5: Caulk/ Grout Missing

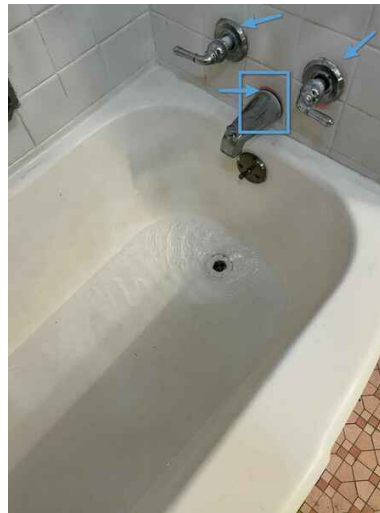
[Maintenance Item](#)

During the inspection, one or more areas were observed to be missing caulk/ grout. Adequate caulking/ grouting plays a crucial role in maintaining the integrity of the building envelope, preventing water intrusion, and ensuring energy efficiency. The absence of caulking can lead to various issues, including air leaks, moisture penetration, and potential damage to structural components. I recommend a qualified professional evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Bathroom



Bathroom

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

B. Drains, Wastes, and Vents

Comments:

A home inspection service will typically include an evaluation of the drains, waste, and vents of the plumbing system. The inspector will evaluate these areas for leaks, proper installation, and functionality.

The inspector will check the condition of all waste and drain pipes, including the main stack, to ensure they are in good condition and properly installed. They will also check for any signs of damage, such as cracks, corrosion, or leaks. The inspector will evaluate the vents to ensure proper ventilation of the plumbing system.

The plumbing system will be evaluated to ensure proper drainage of all fixtures, including sinks, toilets, showers, tubs, and laundry facilities. The inspector will also check the condition of any visible joints to ensure they are properly sealed and in good condition.

If any issues are found, the inspector will provide a detailed report and may recommend further evaluation by a licensed plumber for repairs or improvements. Overall, a thorough inspection of the drains, waste, and vents is important to ensure the proper functioning of the overall plumbing system and to prevent plumbing-related problems in the future.

Type of Drain Piping Material: Cast Iron, PVC
Crawlspace



Cast Iron Pipe



PVC Pipe

1: Plumbing Stack Too Short

Recommendation

Roof

One or more of the plumbing stacks do not appear to extend to the proper height above the rooftop. Plumbing stacks that penetrate the roof should extend at least 6 inches above the roof structure. I recommend I licensed roofer evaluate and repair as needed.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Vent Stack



Vent Stack



Vent Stack

2: Sink Stopper Missing

 Maintenance Item

The sink stopper is missing in some areas. Sink stoppers play a functional role in preventing water from draining, and facilitating various tasks such as washing dishes or filling the sink. I recommend replacing the stoppers as needed. This is for your information.

Recommendation: Contact a qualified professional.

3: DWV Pipe Corroded

 Recommendation

Crawlspace

During the inspection, it was noted that the DWV (Drain, Waste, Vent) pipe is exhibiting signs of corrosion. Corrosion on DWV pipes is a concerning issue that can compromise the integrity and functionality of the plumbing system. Corroded pipes may lead to leaks, blockages, or reduced drainage efficiency, posing potential water damage risks and impacting the overall plumbing performance. I recommend a licensed plumbing professional evaluate and repair as needed.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



DWV Pipe



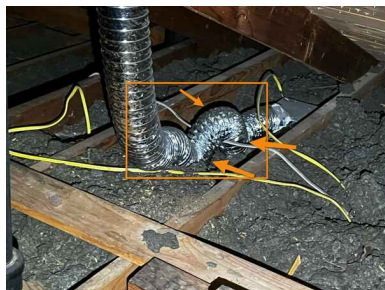
DWV Pipe

4: Exhaust Vent- Excessive Bends

🔴Recommendation

During the inspection, it was observed that the bathroom exhaust vent features bends in its configuration. Proper venting is essential to ensure the effective removal of moisture and odors from the bathroom, contributing to indoor air quality and preventing potential issues such as mold growth. While some bends in the exhaust vent are acceptable, excessive or improperly angled bends can hinder the vent's efficiency. I recommend a qualified professional evaluate and repair as needed.

Recommendation: Contact a qualified professional.



Exhaust Vent

C. Water Heating Equipment

Comments:

A home inspection service will typically include an evaluation of water heating equipment, such as water heaters and boilers. The inspector will evaluate these areas for safety, proper installation, and functionality.

The inspector will check the condition of the tank or boiler to ensure it is in good condition and properly installed. They will also evaluate the condition of the temperature and pressure relief valve to ensure it is functioning properly.

The inspector will evaluate the overall heating system, including the flow of hot water and the presence of sediment or buildup in the tank or boiler. They will also check the functionality of any electrical or gas connections associated with the system.

If any issues are found, the inspector will provide a detailed report and may recommend further evaluation by a professional for repairs or improvements. Overall, a thorough inspection of water heating equipment is important to ensure safety, and efficiency, and to prevent problems with the availability of hot water.

Number of Water Heaters: One

Location: Garage

Water Heater Brand : Rheem -

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

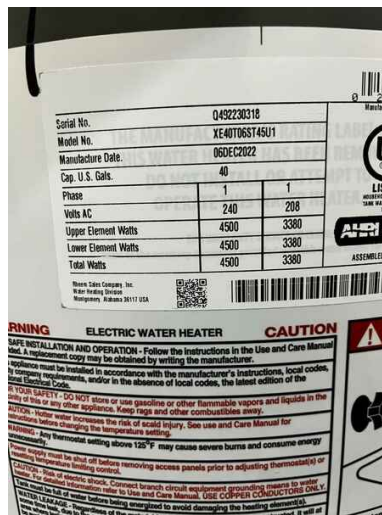
I NI NP D

Manufactured Date: 12/06/2022

Garage



Water Heater



Water Heater Label

Energy Sources: Electric

Water Heater Capacity: 40 Gallon

Water Temperature :

The water temperature was tested and appears to be at an acceptable temperature at the time of inspection.

TPR Valve Not Tested:

The TPR Valve was not tested for concern of personal injury and/or damage to the property. Recommend a qualified HVAC contractor evaluate.

1: TPR Valve/ Piping Termination

Maintenance Item

Garage

One or more of the temperature and pressure relief valve discharge pipes were terminated in a location that may cause damage or personal injury. It is recommended that the discharge pipe run downward to the exterior of the structure, turn downward, and terminate within 6- inches of the ground. I recommend a licensed plumber be consulted for further evaluation and repairs.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage- Water Heater TPR Valve

2: Overflow Pan Discharges Inside

[Maintenance Item](#)

Garage

During the inspection, the water heaters overflow pan was observed to discharge inside of the property. This could cause water to accumulate and cause damage to structural components of the property. It is recommended that the discharge be evacuated to the outside of the property. I recommend a qualified plumbing professional evaluate and repair as needed.

Recommendation: Contact a qualified plumbing contractor.



Garage- Water Heater Overflow Pan Discharge

D. Hydro-Massage Therapy Equipment

E. Gas Distribution Systems and Gas Appliances
Location of Gas Meter: Right side of home

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



North

Type of Gas Distribution Piping Material: Galvanized



North

Gas Turned Off:

The gas distribution was not assessed at the time of the inspection due to it being shut off. If you have concerns about your gas distribution, please contact a qualified plumbing professional in order to evaluate.

1: Gas Pipe Not Capped

Recommendation

During the inspection, the gas distribution pipe was observed to not be capped. Though the gas shut-off lever was in the off position, this could still pose a possible safety concern. The area around the meter and the pipe was tested using a gas detection meter and it was determined that there was no concern at the time. I recommend a certified plumbing professional evaluate and cap the gas pipe as soon as possible.

Recommendation: Contact a qualified professional.



Kitchen- Gas Pipe

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Kitchen- Gas Pipe

-
-
-
-

F. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

V. APPLIANCES

A. Dishwashers

Comments:

A home inspection of a dishwasher should include a visual check of the appliance to determine its overall condition. Additionally, the inspector should check all the connections to ensure the dishwasher is properly installed. A functional test of the dishwasher's features should also be carried out. This may include turning it on, running it through a cycle, and checking the temperature of the water. Depending on the dishwasher's age, the inspection could also include checking the energy-efficiency levels, or any safety-related items.

Dishwasher Manufacturer: None

B. Food Waste Disposers

Comments:

A home inspection of a food waste disposal should include a visual inspection to determine its overall condition and any damage. The inspector should also check the connections to ensure it is properly installed and to see if any repairs are needed. This may include testing the switch and outlet to ensure the electricity runs to the appliance. A functional test should also be completed to make sure the disposal is working properly. Additionally, the inspector should check for any noise or vibration levels, as well as water leakage and potential clogs.

Garbage Disposal Brand: None

C. Range Hood and Exhaust Systems

Comments :

A home inspection of a range hood and exhaust system should include a visual inspection of the appliance and the exhaust ducts to make sure they are in good condition. This includes checking for any build-up of grease or debris, and any damage or corrosion. The inspector should check if the hood is mounted properly and that any wiring is secure and connected correctly. The exhaust fan should also be tested to ensure it runs properly and pulls air out correctly. Additionally, the interior of the ducts should be inspected to ensure there are no clogs or restrictions.

Exhaust/Range Hood Brand: None

Exhaust/Range Hood Type: None

D. Ranges, Cooktops, and Ovens

Comments:

A home inspection of ranges, cooktops, and ovens should include a visual inspection to check for any damage, as well as any potential safety hazards. The inspector should also test the appliance and its features, such as lights, timers, and knobs, to make sure they are in working order. Additionally, the inspector should check the wiring and connections to ensure the appliance is properly installed. Depending on the appliance's age, the inspection could include checking its energy-efficiency levels. Lastly, the inspector should check the door seal and the oven insulation to make sure there are no gaps or openings.

Range Anti-tip Present: Not Applicabile

Range/Oven Brand: None

E. Microwave Ovens

Comments:

A home inspection of a built-in microwave oven should include an examination of electrical connections, controls, ventilation, door seals, and the movement of turntables or circular plates. The inspector should also

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

examine the interior of the unit and check for any signs of visible damage, such as burned interior components. Additionally, the inspector should confirm that the oven is securely mounted to the wall or other cabinet structure and asses if the appliance heats up items. Finally, the exterior of the appliance should be inspected for any signs of significant damage.

Microwave Brand: Roper



Kitchen

Tested and Working:

The microwave was tested and working properly at the time of inspection.



F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

A home inspector will evaluate the mechanical exhaust vents and bathroom heaters. They will check for proper installation and inspect the condition of the ducts, joints, and other components. They will also check that the vents are properly vented outside and not just indoors. They will look for any potential problems, such as corrosion, blockages, leaks, and other issues. The inspector will also check the functioning of the heater, such as the temperature and operation settings, to ensure that it is working properly.

Tested and Working:

The exhaust vents were tested and working properly at the time of inspection.

G. Garage Door Operators

Comments:

Home inspectors will inspect garage door operators for proper function and safety. The inspector will check for loose hardware, frayed cables, rust, and corrosion, as well as make sure the door operates smoothly. The inspector will also test the safety reversing mechanisms, inspect the eye sensors for proper alignment, and examine the emergency release mechanism. In addition, the inspector will look for any defective parts that can cause the opener to malfunction or pose a safety hazard.

Garage Door Opener Brand: Chamberlain

Garage

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage

1: Auto Reverse Sensor Not Working

▲Safety Hazard

Garage

The auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation: Contact a qualified garage door contractor.

2: Safety Reversing Sensors Missing

▲Safety Hazard

No safety reversing sensors were observed at the time of inspection. Photo sensors should be placed on either side of the garage door opening and at a height of at least 6 inches from the surface of the floor. This is a safety issue that needs correcting. I recommend a qualified contractor be consulted for installing needed safety sensors.

Recommendation: Contact a qualified professional.



Garage



Garage

H. Dryer Exhaust Systems

Comments:

When inspecting a dryer exhaust system, the home inspector should check for a clear dryer vent path, the secure attachment of all duct segments, proper ventilation at the exterior, the correct type of vent material, and the proper use of hangers and straps. They should also check for anything that may be blocking the vent, such as bird or rodent nests or lint. In addition, the home inspector should check that there are no signs of back

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

drafting which can be caused by exhausted hot air being pushed back into the home from an improperly working exhaust. Finally, the home inspector should test any connection points to ensure they are properly sealed.

1: Improper Venting

Recommendation

Dryer vent is not terminating to the exterior, which can cause inefficient venting and/or a fire hazard. Recommend a qualified HVAC contractor or handyman vent to exterior.

Recommendation: Contact a qualified HVAC professional.



North Crawlspace



North Crawlspace

I. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

VI. OPTIONAL SYSTEMS

- A. Landscape Irrigation (Sprinkler) Systems**
Comments:
Location of Control Panel: None

- B. Swimming Pools, Spas, Hot Tubs, and Equipment**

- C. Outbuildings**

- D. Private Water Wells (A coliform analysis is recommended.)**
Comments:

- E. Private Sewage Disposal Systems**
Comments:

- F. Other Built-in Appliances**
Comments:

- G. Other**
Comments: