



SUMMARY
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76712
Jose Caraballo
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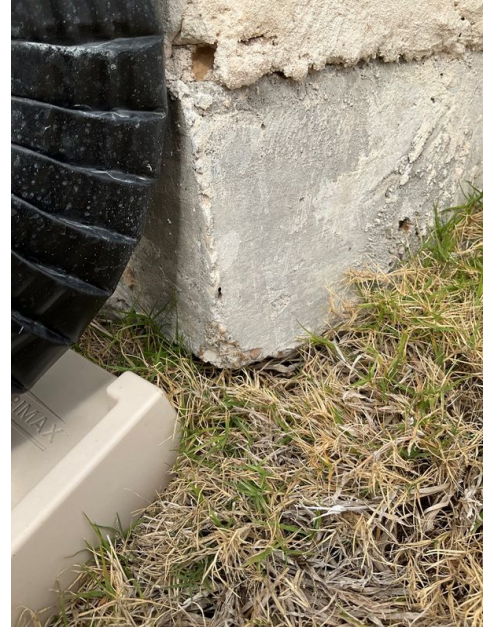
2.1.1 A. Foundations

FOUNDATION CORNER POPS

 Maintenance Item

The foundation has minor cracks in the corners (Corner pops). These are considered cosmetic. I recommend a qualified contractor repair as needed.

Recommendation
Contact a qualified professional.



2.2.1 B. Grading and Drainage

NEGATIVE SLOPE

 Recommendation

There is a negative slope in areas that does not appear to drain water away from the home. I recommend a qualified contractor be consulted for further evaluation and repair so that a minimum of 4 inches of concrete slab is visible.

Recommendation
Contact a qualified professional.



2.2.2 B. Grading and Drainage

MISSING SPLASH BLOCKS

 Maintenance Item

Splash blocks are placed at the end of a downspout and used to divert water a minimum of 3-5 feet away from the foundation. This prevents excess water in the soil near the foundation which may cause foundation concerns. This is a simple correction that can be made by the homeowner.

Recommendation
Recommended DIY Project



2.3.1 C. Roof Covering Materials

ROOF COVERING IS DAMAGED

 Recommendation

The roof covering is damaged in areas. This damage may need repair or replacement. I recommend a qualified roofing contractor be consulted for further evaluation and repair.

Recommendation
Contact a qualified professional.



2.3.2 C. Roof Covering Materials

SATELLITE DISH MOUNTED ON THE ROOF

 Maintenance Item

There is a satellite dish mounted on the roof in areas. This is not considered to be today's standard. I recommend a qualified roofing contractor be consulted to remove this unit and patch the roof surface as needed.

Recommendation
Contact a qualified professional.



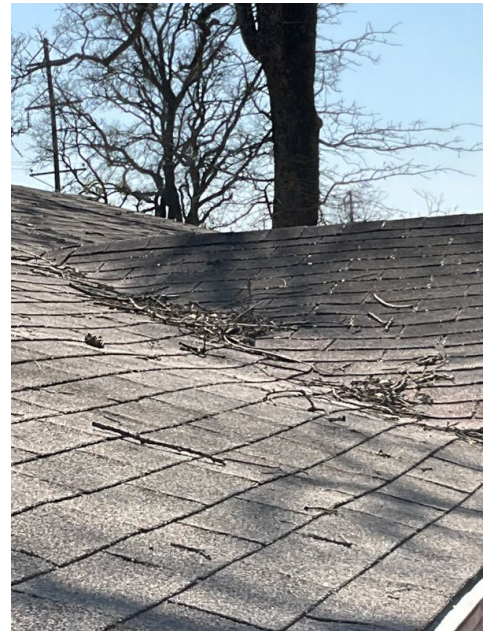
2.3.3 C. Roof Covering Materials

DEBRIS OBSERVED ON THE ROOF SURFACE

 Maintenance Item

The roof surface has standing debris in areas. This can lead to damaged shingles and moisture intrusion if not corrected. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

Recommendation
Contact a qualified professional.



2.3.4 C. Roof Covering Materials

DRIP EDGE FLASHING IS NOT PAINTED

 Recommendation

The drip edge flashing is not painted. This is for your information. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

Recommendation
Contact a qualified professional.



2.3.5 C. Roof Covering Materials

SKYLIGHT

There is a skylight(s) present. These units are prone to leaks if not properly sealed and maintained. This is for your information.

Recommendation

Contact a qualified professional.



2.3.6 C. Roof Covering Materials

TREE TOUCHING HOME

Recommendation

Contact a qualified professional.





2.3.7 C. Roof Covering Materials

DRIP EDGE SEPARATION

Recommendation

Contact a qualified professional.

 Recommendation



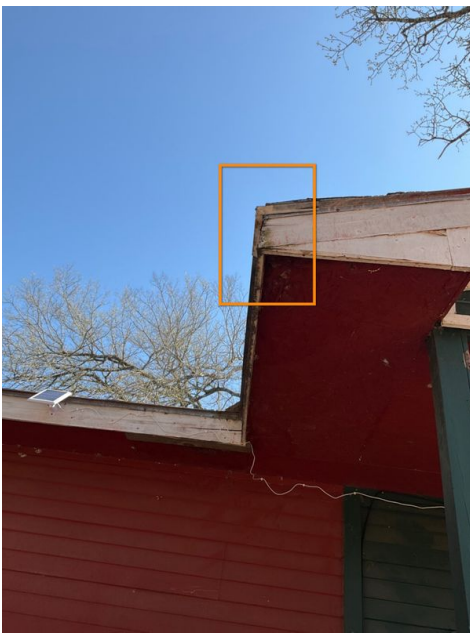
2.3.8 C. Roof Covering Materials

IMPROPERLY INSTALLED DRIP EDGE

Recommendation

Contact a qualified professional.

 Recommendation



2.3.9 C. Roof Covering Materials

ROOF IS UNEVEN

Recommendation

Contact a qualified professional.

 Recommendation



2.4.1 D. Roof Structures and Attics

ROOF STRUCTURE HAS DIPS OR SAGS

 Maintenance Item

The roof dips or sags in areas. This is most common with older construction homes when roof rafters were spaced too far apart to provide adequate support. I recommend a qualified roofing contractor be consulted for further evaluation and repair as needed.

Recommendation

Contact a qualified professional.



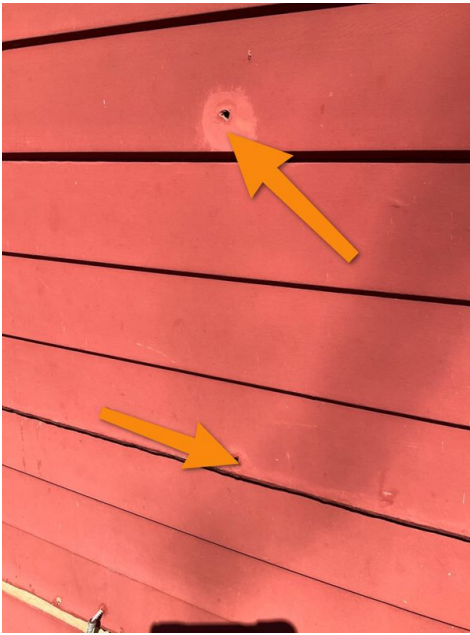
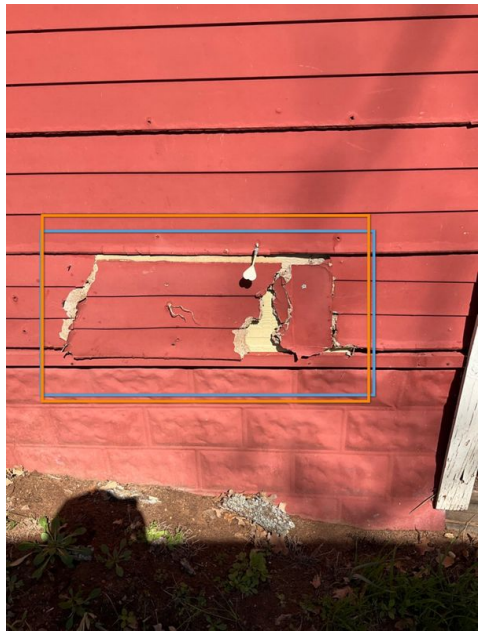
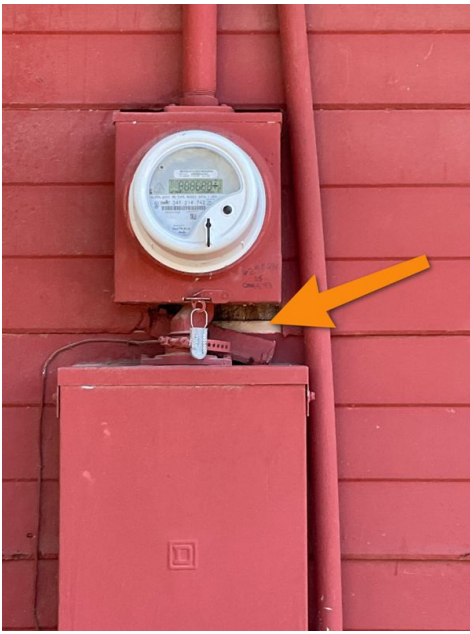
2.5.1 E. Walls (Interior and Exterior)
EXTERIOR SIDING DAMAGED IN AREAS

 Maintenance Item

The exterior siding is damaged in areas. I recommend a qualified contractor repair as needed.

Recommendation
Contact a qualified professional.





2.6.1 F. Ceilings and Floors
DRYWALL IS UNFINISHED

The drywall is unfinished in areas. This is for your information.

Recommendation
Contact a qualified professional.

 Recommendation

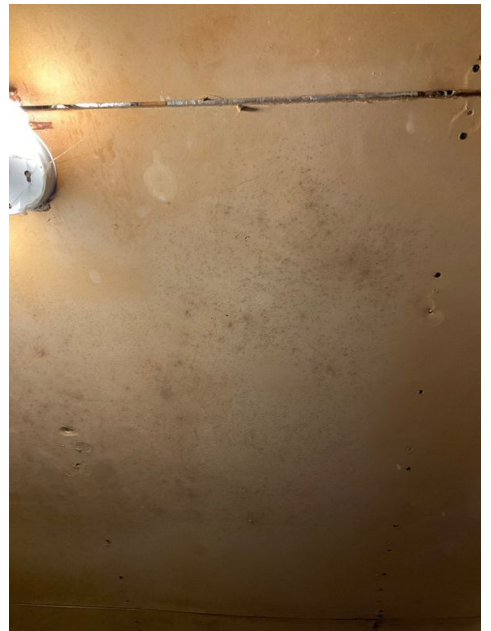


WATAR STAINS

Recommendation

Contact a qualified professional.

 Recommendation



2.8.1 H. Windows

MISSING WINDOW SCREEN(S)

One or more windows are missing a screen. Recommend replacement.

Recommendation

Contact a qualified window repair/installation contractor.

 Recommendation



2.8.2 H. Windows

THE WINDOW CAULKING IS MISSING/DETERIORATED

The window is missing caulking in areas. I recommend a qualified person repair as needed.

Recommendation

Contact a qualified professional.

 Recommendation

2.8.3 H. Windows

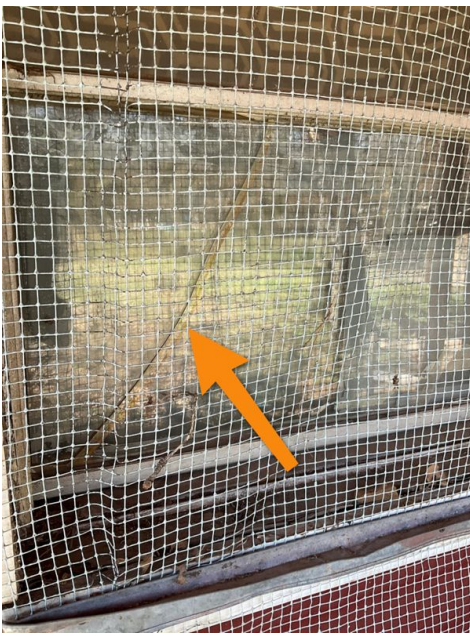
THERE IS CRACKED/DAMAGED GLASS IN A WINDOW

The window is cracked in areas. I recommend a qualified contractor be consulted for further evaluation and repair or replace as needed.

Recommendation

Contact a qualified professional.

 Recommendation



2.8.4 H. Windows

WINDOW FRAME NOT PAINTED

Recommendation

Contact a qualified professional.



Recommendation



2.10.1 J. Fireplaces and Chimneys

I DO NOT INSPECT FOR PROPER DESIGN

This company does not inspect the shape/design of the fireplace to determine if the fireplace has a proper air draw and combustion. This is for your information.

Recommendation

Contact a qualified professional.



Recommendation

2.11.1 K. Porches, Balconies, Decks, and Carports

THE WEIGHT CAPACITY IS NOT PART OF THIS INSPECTION

The weight and load capacity is not a part of this inspection. This is for your information.

Recommendation

Contact a qualified professional.



Recommendation

CAULKING

 Recommendation

There are areas of the home that have grout or caulking that is missing or deteriorated. I recommend a qualified contractor be consulted for further evaluation and repair.

Recommendation

Contact a qualified professional.



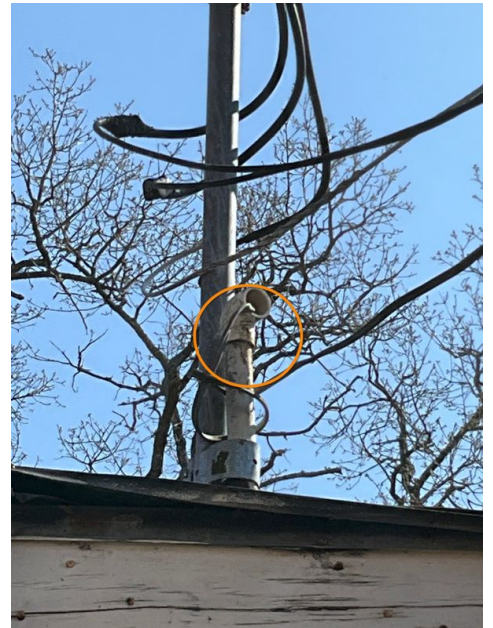
3.1.1 A. Service Entrance and Panels

EXPOSED WIRE

Recommendation

Contact a qualified professional.

 Recommendation



3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

RECOMMEND INSTALLING SMOKE/CO2 DETECTORS

 Recommendation

I recommend checking all current smoke detectors in the home to ensure they are in working order. It is recommended to have a smoke detector in every bedroom, all hallways, and common living areas. Co2 (Carbon monoxide) detectors are recommend in all homes, especially if natural gas fired appliances are present. Some detectors may not be accessible or available for inspection due to limitations (i.e. wired to alarm system).

Recommendation

Contact a qualified professional.

3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

 Safety Hazard

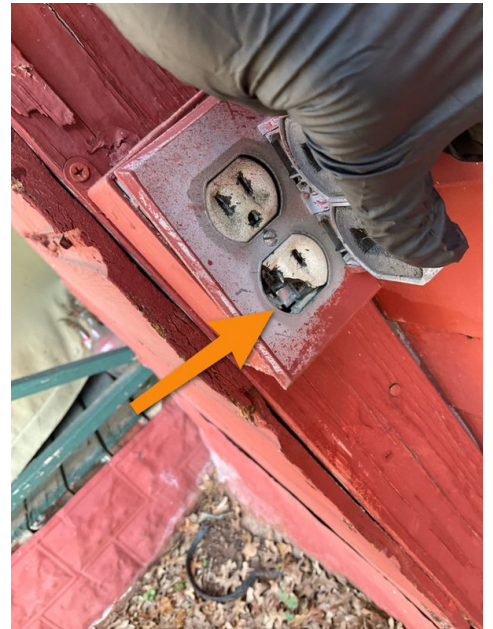
NO GFCI PROTECTION IN REQUIRED AREAS

GFCI protected outlets were missing in required locations. I recommend a qualified electrician upgrade by installing ground fault receptacles in required locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



3.2.3 B. Branch Circuits, Connected Devices, and Fixtures

 Safety Hazard

IMPROPER WIRING

Improper wiring was observed at the time of inspection. Recommend a licensed electrician evaluate and repair.

Recommendation

Contact a qualified electrical contractor.



3.2.4 B. Branch Circuits, Connected Devices, and Fixtures

 Recommendation

IMPROPER WIRING

Recommendation

Contact a qualified professional.



4.1.1 A. Heating Equipment
UNIT NEEDS SERVICING

 Recommendation

Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

Recommendation

Contact a qualified HVAC professional.

4.2.1 B. Cooling Equipment
AC UNIT NOT MOUNTED

 Maintenance Item

Recommendation

Contact a qualified professional.



4.3.1 C. Duct Systems, Chases, and Vents
MISSING LOWER VENTILATION

 Recommendation

Recommendation

Contact a qualified professional.



5.1.1 A. Plumbing Supply, Distribution Systems, and Fixtures

MISSING ANTISYPHON

Recommendation

Contact a qualified professional.



5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

SINK P TRAP INCORRECT INSTALLATION

Recommendation

Contact a qualified professional.





5.2.1 B. Drains, Wastes, and Vents

DRAINS NOT VISIBLE

 Maintenance Item

All drainage piping was not visible to inspector at the time of inspection due to occupants belongings or built in cabinetry. This is for your information.

Recommendation
Contact a qualified professional.

5.2.2 B. Drains, Wastes, and Vents

SINK STOPPER

 Maintenance Item

The sink stopper mechanism is not functioning properly in areas. I recommend a qualified person repair as needed.

Recommendation
Contact a qualified professional.



5.2.3 B. Drains, Wastes, and Vents

DRAIN UNDERSIZED

 Recommendation

Recommendation
Contact a qualified professional.



5.3.1 C. Water Heating Equipment
IMPROPER MATERIAL FOR TPR

Recommendation
Contact a qualified professional.



6.4.1 D. Ranges, Cooktops, and Ovens
RANGE NOT FASTENED

The unit does not have an anti-tip fastener. This is a safety issue that needs correcting. I recommend a qualified contractor be consulted for further evaluation and repair as needed.

Recommendation
Contact a qualified handyman.



6.6.1 F. Mechanical Exhaust Vents and Bathroom Heaters
NO EXHAUST FAN OR WINDOW IS PRESENT

There was not exhaust fan or vent for the bathroom. This is for your information. I recommend a qualified contractor be consulted for further evaluation and repair.

Recommendation
Contact a qualified professional.



6.7.1 G. Garage Door Operators
NO SAFETY SENSORS OBSERVED

 Safety Hazard

No safety sensors were observed at the time of inspection. This is a safety issue that needs correcting. I recommend a qualified contractor be consulted for installing needed safety sensors.

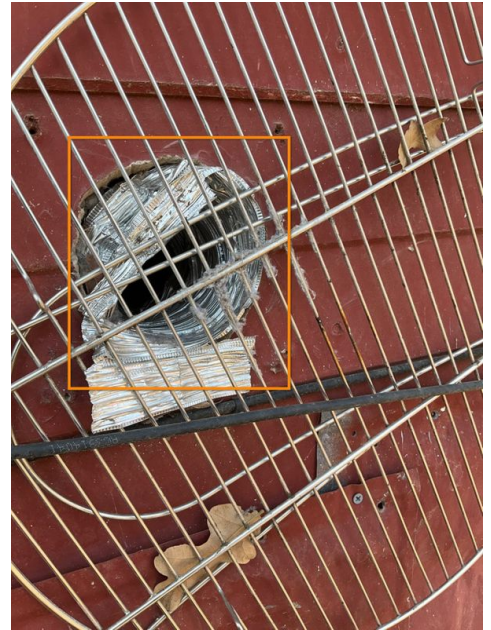
Recommendation
Contact a qualified professional.

6.8.1 H. Dryer Exhaust Systems
IMPROPER VENTING

 Recommendation

Dryer vent is not terminating to the exterior, which can cause inefficient venting and/or a fire hazard. Recommend a qualified HVAC contractor or handyman vent to exterior.

Recommendation
Contact a qualified HVAC professional.



6.8.2 H. Dryer Exhaust Systems
IMPROPER MATERIAL

 Recommendation

The dryer vent piping is comprised of improper material for a gas dryer. I recommend a qualified contractor be consulted for further evaluation and repair.

Recommendation
Contact a qualified professional.

